

WEST WHITELAND TOWNSHIP
Planning Commission
Agenda
Tuesday, August 18, 2020
7:00 P.M.

CALL TO ORDER

REVIEW OF MEETING MINUTES

1. Approval of Meeting Minutes: August 4, 2020

PUBLIC COMMENT/CONCERNS/QUESTIONS

PLANS

1. Exton Knoll
Address: 891-921 E. Lincoln Hwy.
Second Review: Land Development
Request: Construction of 319 housing units consisting of 99 carriage homes and 220 apartments.
2. Columbia Cottage
Address: 936 E. Boot Rd.
First Review: Zoning Ordinance amendment application
Request: To allow the provisions of the IN Institutional overlay zoning district to be applied to the NC Neighborhood Commercial district.

NEW BUSINESS

ANNOUNCEMENTS

ADJOURNMENT

Next Meeting: September 1, 2020

Directions to access the Zoom Meeting

Option 1:

Click this link to register:

<https://us02web.zoom.us/meeting/register/tZErdumoqDlsGdXZZY0T95Dc1QZgfU5Rpbx>

Option 2:

Use your phone and call +1-646-558-8656. When asked, enter the Meeting and Password.

[Virtual Meeting Etiquette](#)

[Zoom Instructions](#)



MEMORANDUM

DATE: August 14, 2020
TO: Planning Commission
FROM: John R. Weller, AICP
Director of Planning and Zoning

Justin Smiley, AICP
Township Planner

SUBJECT: **Exton Knoll**
Land development plan

APPLICANT: Weston Investment Properties, LP / 891 E. Lincoln Assoc., LP
1595 Paoli Pk.
West Chester, PA 19380

SITE ADDRESS: 713-921 E. Lincoln Hwy.
Exton, PA 19341

TAX PARCELS: 41-6-2, 41-6-2.1, 41-6-2.2, 41-6-3, 41-6-4, 41-6-4.1, and 41-6-4.2

ZONING: O/R, Office/Residential

DESCRIPTION: Construction of 319 townhouse dwellings on a tract consisting of seven parcels with a total gross area of 56.58 acres.

EXPIRES: September 25, 2020

Background

The project site consists of seven contiguous parcels with a total gross area of 56.58 acres along the north side of E. Lincoln Hwy. The tract slopes gently down from a high point along Lincoln Hwy. to Valley Creek. There is a FEMA-designated flood hazard area associated with the creek on the northern part of the site that covers 22% of the total tract area. The western part of the tract (tax parcel 41-6-2) is the former Mid-County Mustang property, which is an EPA Superfund site due to groundwater contamination; we discussed the status of the remediation work during the conditional use review for this project.

The Church Farm School ("CFS") campus abuts the site to the east, the Chester Valley Trail and Exton Park are to the north, and the Lochiel Farm community now under construction lies to the west. The Township's map of historic resources shows a Class III historic structure at the western edge of the property (site #344, Dr. R.B. Carey's barn) and another Class III structure across the street (site #028, a commercial building once associated with the Autocar factory). Neither of these structures exist today. The adjoining CFS campus includes the Class I Greystock Hall, and the campus core is a designated historic district.

The Applicant is proposing to consolidate the seven parcels that comprise the tract and to re-subdivide the resulting property into two lots. The larger western lot has a gross area of 29.85 acres and is to be developed with 220 dwellings, some designed as traditional townhouses and others as a two-story townhouse over a single-story flat, along with a residents' clubhouse and swimming pool; the Applicant has stated that these will all be rental units. The eastern lot has a gross area of 26.74 acres and is to be developed with 99 carriage homes. These dwellings will be for sale, and a homeowners' association will be established to own and maintain the grounds and internal streets, although a small street segment near Lincoln Hwy. will be dedicated to the Township to facilitate school bus access. The principal entrance will be at the existing traffic signal opposite Springdale Dr. and will serve both neighborhoods. There will be a secondary access to Lincoln Hwy. near the east side of the tract and another secondary access to Livingston La. at the west side.

The Zoning data shown on the "Zoning Data Tabulation" chart on Sheet 1 are correct, but not quite complete: the required setback from Lincoln Hwy. is 75 feet, not the standard front yard setback of 25 feet from public streets. Despite this omission, the larger setback is properly shown and labeled on the plan drawings, and the Zoning Officer has determined that the design complies with the applicable area and bulk standards in §325-15.1.D(2) of the West Whiteland Township Zoning Ordinance ("Zoning").

Due to the number of proposed dwellings, this project required review as a conditional use pursuant to §325-124.A of the Zoning. The Township Board of Supervisors approved the conditional use by passing a Decision and Order ("D&O") at their meeting of April 8, 2020. Staff has provided an analysis of the extent to which this plan complies with the D&O as an attachment to this memorandum.

The Applicant first presented the subdivision and land development plan to the Planning Commission at the meeting of June 16, 2020. The Commission took no action at that time, but there was discussion regarding buffering from the CFS campus, the design of the traffic circle near the main entrance, recreational amenities, and the various provisions for pedestrians. There was also discussion about whether additional traffic calming measures should be provided for Road A, but the Commission concluded that the design shown was adequate in this respect.

The Applicant presented the plan to the Historical Commission at the meeting of July 13, 2020. The Commission recommended to the Board for approval of the plan with the condition that the Applicant be responsible for the graphic design, fabrication and installation of two historical markers for which the Township will provide the historical information. Discussion was also made on the landscaped buffer between Church Farm School and the proposed plan.

Tonight is the second presentation of the subdivision and land development plan to the Planning Commission.

Consultant Reviews

- **Spotts, Stevens and McCoy ("SSM") review dated August 5, 2020.** Comments #1 through #12 review the requested waivers and advise that they do not object to any of them. Comments #13 and #14 address coordination with CFS, which has been on-going regarding both the landscaped buffer on the eastern border of the development and the sidewalk connection.

Comments #15 through #22 review the plan for compliance with our Subdivision and Land Development Ordinance ("S/LDO"). Most of these describe required additional details or information, except comment #19 states that the Township should confirm

that the street portion shown for dedication is satisfactory. Sheet 2 identifies the area to be dedicated, which is consistent with the discussion during the conditional use review: most streets will be private, but this portion be dedicated so that school busses will be able to leave the highway to pick up and drop off children. While the issues raised in this comment require resolution, we anticipate an arrangement similar to what we have for the adjacent Lochiel Farm community.

Comments #23 through #30 address the stormwater management facilities. It appears that all of these are either minor revisions, recommendations for additional notes or information on the plan, or administrative items.

Comments #31 through #36 address the sanitary sewer system. Most of the comments direct minor revisions or are recommendations for additional notes or information on the plan. Comment #36 recommends additional space (at least ten feet) between four of the units and a nearby sewer line. The Applicant should confirm whether this can be accommodated or if they propose something else to address SSM's concern.

Comments #37 through #40 raise miscellaneous issues, most of which are minor corrections, but the Commission may wish to discuss the concerns about the pedestrian plan issues described in comment #39.

- **Stubbe Consulting review dated July 24, 2020.** Mr. Stubbe states that the plan is not clear and lacks information regarding symbols on the drawing and details about the fixtures and their installation (comments #1, #3, #4, and #5); comment #8 questions whether the plan is complete or if there will be additional exterior lighting that is not shown. Comment #2 identifies locations where the lighting does not comply with our minimum standards, and comment #6 directs that the Applicant review the plan to eliminate any potential conflicts between landscaping and lighting. Comment #7 directs the addition of notes to the plan as required by the S/LDO.
- **Theurkauf Design and Planning ("Theurkauf") review dated August 5, 2020.** Comments #1 and #2 address the proposed recreational amenities and the multi-modal paths and note that many of their prior concerns have been resolved. The Commission may wish to discuss the remaining concerns about the locations of the playground and dog park along with the sidewalk and crosswalk for Lincoln Hwy. Staff has no objection to the design as shown.

Comments #3 through #11 provide a detailed review of the proposed landscaping and advise that most of their earlier concerns are resolved. Remaining issues include screening of the storage building and trash compactor (comment #7) and conflicts with utilities and lighting (comment #9), which was also noted by SSM. Comments #6, #8b, and #10c support waivers for the stormwater basin, the West Loop Road street trees, and trees in the parking lot islands. The Commission should also confirm that CFS is satisfied with the landscaping along the border with their campus (comment #4).

- **Traffic Planning and Design ("TPD") review dated August 5, 2020.** TPD directs some minor design revisions and various corrections and additions to the plan drawing; the Commission may wish to confirm that these are "will comply" items.

TPD's review of November 8, 2019 stated that the traffic impact fee would be \$154,895.55. Since then, the Applicant has revised the plan to reduce the number of dwelling units, which will result in a lower fee. The calculation of the final fee should be made before this plan is presented to the Board of Supervisors.

- **Director of Public Works memorandum dated August 6, 2020.** Comment #1 states that if the sanitary sewer is to be dedicated to the Township the Applicant will need to provide appropriate easements. Also, it appears that the plan is not fully consistent

with the requirement that there be no structures or other impediments to access within 10 feet of a pipe - an issue that was also noted by SSM and Theurkauf.

- **Fire Marshal memorandum dated August 6, 2020.** Mr. Moses has no remaining concerns.
- **Chester County Planning Commission review dated June 19, 2020.** The County advises that this project is consistent with the County's Comprehensive Plan; while they express concern about environmentally sensitive areas, it appears that the design addresses their concerns in that no development is proposed within wetlands or floodplain areas, and the Applicant and SSM have considered the effect of karst geology on the stormwater management system. Many of the County's concerns have already been noted by the Township and our consultants, but we find that three of their comments may warrant further discussion:
 - Comment #3 notes that it will be necessary to coordinate with the County in order to make the proposed connection to the Chester Valley Trail; this comment further suggests an easement to allow public access from the trail for passive recreation around the pond on the Applicant's property. The Commission may wish to discuss this with the Applicant.
 - Comment #9 suggests eliminating the multi-modal trail as shown on Sheet 8 behind units 118 through 152, noting that pedestrians could use sidewalks and bicyclists could use the access drives. Staff does not support this suggestion. While the sidewalks would accommodate pedestrians safely, the access drives are potentially hazardous for bicyclists - and children particularly - given the on-street parking and numerous driveways.
 - Comment #12 recommends a landscaped buffer from the Church Farm School campus in the interest of preserving the historic context of the campus. We note that this purpose is compatible with the School's desire for landscaping that promotes campus security. The Commission may wish to review the landscaping plan with the Applicant in light of both functions.

The review from our historic preservation consultant, Commonwealth Heritage Group ("CHG"), dated June 9, 2020 was provided with the Staff memorandum dated June 12, 2020. CHG advised that the project would not adversely impact any historic resources but supported a landscaped screen between this site and the CFS campus for the same reason cited by the County. Staff notes that condition #6 of the D&O requires a landscaped buffer agreeable to CFS.

Staff Comment

The Applicant has resolved many of our earlier concerns, and Staff now has no objection to Commission action, provided that the Applicant addresses the remaining issues to your satisfaction, including the following:

- The Applicant should provide an update on its discussion with CFS regarding the required landscaped buffer along the eastern side of the project site.
- Review the suggestions from the County, SSM, and Theurkauf concerning the pedestrian circulation plan and advise the Applicant accordingly.
- Resolution of the lighting issues described in the Stubbe Consulting review.
- Resolution of the concerns expressed by SSM, Theurkauf, and the Director of Public Works about the placement utilities and proper space between buildings and pipe runs.

As noted on the attached analysis, there is one unmet conditions from the D&O as of this writing, but it may be resolved by the time of the meeting. In anticipation of such resolution, Staff will prepare a draft motion for your consideration at the meeting.

Attachments

1. SSM review dated August 5, 2020.
2. Stubbe Consulting review dated July 24, 2020.
3. Theurkauf review dated August 5, 2020.
4. TPD review dated August 5, 2020.
5. Director of Public Works memorandum dated August 6, 2020.
6. Fire Marshal memorandum dated August 6, 2020.
7. Chester County Planning Commission review dated June 19, 2020.
8. Staff D&O analysis dated August 14, 2020.
9. Plan set by D.L. Howell dated May 15, 2020, most recently revised July 20, 2020.

Plans\DEF\Exton Knoll\PC memo - 200814



August 5, 2020

Mr. John R. Weller, AICP
Director of Planning and Zoning
West Whiteland Township
101 Commerce Drive
Exton, PA 19341

RE: Exton Knoll (891, 901 & 921 E. Lincoln Highway)
Preliminary / Final Subdivision and Land Development Plan
SSM File 101008.0335

Dear Mr. Weller:

We have reviewed the above-referenced submission consisting of the following:

- Preliminary / Final Subdivision and Land Development Plans (38 Sheets), prepared by D. L. Howell & Associates, Inc., dated May 15, 2020, most recently revised July 20, 2020;
- Post Construction Stormwater Management Report, prepared by D. L. Howell & Associates, Inc., dated May 15, 2020, most recently revised July 20, 2020;
- Exton Knoll Tree Assessment, prepared by Rockwell Associates, dated July 13, 2020;

Weston Investment Properties, L.P. (Bentley Homes) and 891 E. Lincoln Associates, L.P., proposes the construction of a community of 319 dwelling units, consisting of 99 carriage homes and 220 townhomes on the 56.581 acre property. The proposed community will be accommodated with a club house, detached garages, an accessory “barn” maintenance building, and parking areas. The existing properties comprising this project area will be subdivided into two separate lots with Lot 1 to the west of the site containing the 220 townhomes (which may serve as rental units) and Lot 2 to the east containing the 99 carriage homes. The property is bounded by Chester Valley Trail to the north, Business Route 30 to the south, Lochiel Farm Residential Community to the west and Church Farm School to the east. The project is located in the O/R – Office Residential Zoning District.

Issues regarding landscaping and buffering, traffic and pedestrian circulation, and lighting will be addressed by Theurkauf Design and Planning, Traffic Planning and Design (TPD), and Stan Stubbe respectively.

We have the following comments.

WAIVER REQUESTS

The following waivers have been requested:

1. Section 270-20 – A waiver from the infiltration requirements due to karst geology and the associated sinkhole risk, and existing groundwater contamination. Bio-filtration and slow release are proposed in lieu of infiltration. Based upon the report and recommendations from the applicant’s engineer we support this waiver request.
2. Section 281-16.B – A waiver to allow submitted sheet size to be greater than 24”x36”. We have no objection to this waiver request.



3. Section 281-25.C – A waiver to allow the cartway of the proposed private streets to be 24 feet wide in lieu of the required 28 feet. It is our understanding that the Township did not object to this request during the Conditional Use hearing.
4. Section 281-26.B(1) – A waiver for certain private streets to have a 50’ centerline radii at the four “corners”, i.e. in front of units 162-165; 152; 131-133; 34 & 35 and between units 27 & 28. We have no objection to this waiver request
5. Section 281-26.C – A waiver to allow private streets to have tangent segments that are less than 100 feet, between reverse curves. We have no objection to this waiver request, based upon the design currently shown on the plans.
6. Section 281-28.E(2)(a)[2] – A waiver to allow clear sight triangles to be 75 feet rather than the required 100 feet. We have no objection to this waiver request, as stop signs are proposed in these locations.
7. Section 281-35.F(4) – A waiver to allow a naturalistic basin with side slopes steeper than 4:1 and provide 12.5% non-native plantings within the basin due to their wildlife and aesthetic values. We have no objection to the proposed side slopes of 3:1. Theurkauf Design and Planning should comment on the amount and type of plantings.
8. Section 281-36.B – A waiver to allow street trees to be planted outside of the right-of-way due to overhead wires and a sanitary easement. Theurkauf Design and Planning should comment on this request.
9. Section 281-35.C – A waiver to allow a driveway, which services a trash compactor, within the landscaped buffer. Theurkauf Design and Planning should comment on this request.
10. Section 281-37.B.1 – A waiver to allow parking islands to be spaced at distances greater than 135 feet along the street where parallel spaces are proposed. Theurkauf Design and Planning should comment on this request.
11. Section 270-15.T – A partial waiver to allow disturbance and grading within Zone 2 and the setback into Zone 3 of the riparian buffer located at the southwest corner of the project. No dwellings are proposed in this area. We have no objection to this waiver request.
12. Section 281-32.C – A partial waiver to allow a curb reveal of 6 inches rather than the required 8 inches. We have no objection to this waiver request to the extent that this request be clarified to permit belgian block curb along certain private roads; and to still require concrete vertical curb with an 8 inch reveal along East Lincoln Highway, specifically south of the pedestrian curb ramps at both site entrances.

COMPLIANCE WITH THE CONDITIONAL USE DECISION AND ORDER

13. In accordance with Condition 6, prior to submission of the Land Development plan, the applicant shall meet with representatives of Church Farm School (CFS) and come to agreement regarding the details of the required landscaped perimeter buffer to resolve CFS concerns about security and aesthetics, to the satisfaction of the Township. The applicant shall provide the Township evidence that they met with CFS representatives and provide evidence of CFS agreement to the proposed perimeter buffer. The response indicates a meeting with CFS occurred on February 10, 2020 and that communication between the two parties remains open. Many plan alterations have occurred since the initial meeting. Written correspondence between the applicant and CFS shall be provided to the Township and be in regard to the most recent plans, in order to satisfy this requirement.



COMPLIANCE WITH ZONING ORDINANCE

14. Pedestrian circulation shall logically continue, link or expand existing pedestrian facilities on, across and abutting the site consistent with the recommendations of the West Whiteland Township Comprehensive Plan, Section 325-37.A(7)(a)[1]. The Township's Bicycle and Pedestrian Plan dated June 12, 2019 indicates on pages 34-36 that a missing sidewalk link between Lochiel Farm's entrance and Church Farm School should be installed. The applicant notes the CFS does not want sidewalk along East Lincoln Highway extended to their property line and therefore the plans do not indicate that sidewalk is extended along East Lincoln Highway to the CFS property. We recommend this sidewalk link be installed in accordance with the comprehensive plan as this is the Township's long-term desire.

COMPLIANCE WITH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

15. Completed DEP sewage facilities planning modules shall be submitted to the Township for action, Section 281-8.B(3)(b) & (c).
16. The plan for lots within a subdivision shall show house numbers. House numbers shall be assigned by the Township in coordination with the Postal Department, Section 281-17.D(8). The plans should be updated to reflect street names and tabular list of addresses for all dwellings.
17. The applicant shall acquire an approval for the proposed fire hydrant and water related improvements from the West Whiteland Township Fire Marshal, Section 281-17.D(12).
18. When retaining walls are proposed, design calculations shall be provided, and construction details shown on the plan, indicating wall heights, construction materials and specifications, and where deemed necessary by the Township, railings, fences, guide rail, etc., Section 281-17.D(13). The response received indicates top and bottom of wall elevations have been provided; however, the plans do not reflect elevations for each wall. Additionally, the retaining wall for Basin 4 will contain two (2) pipes which pass through the retaining wall. The basin will be lined to prevent infiltration. Details of how a water tight connection will be achieved between the pipe and liner and wall and liner must be provided.
19. The plans indicate that a 50-foot wide right-of-way containing the site entrances along portions of "Road A" and "Road B" is offered for dedication to the Township. The Township should confirm that this is the extent of road that they wish to be dedicated, Section 281-17.I(4).
20. All utilities, including but not limited to sanitary sewers; stormwater sewers; stormwater conveyance, drainage and infiltration swales, basins and areas; electric; gas; water; telephone; and cable shall be located in areas to be offered for dedication to the Township or easements over private property. All such areas and easements shall be clearly depicted on and identified by notes on the preliminary and final plans. The deeds for private properties subject to utility easements shall contain a specific reservation for the easements, in form and substance satisfactory to the Township. The deeds shall be submitted for review with the final plan. The perpetual maintenance, repair and replacement of all utilities not accepted for dedication by the Township or other governmental entity shall be the responsibility of individual or an association of private property owners. An agreement memorializing the foregoing responsibility, in form and substance satisfactory to the Township, shall be submitted for review with the final plan and recorded in the Office of the Chester County Recorder of Deeds with the final plan, Section 281-51.A.
21. No landscaping shall be installed within easements or dedicated areas unless approved by the Township by the preliminary plan approval. Easements and dedicated areas shall be a minimum of 20 feet in width, and utilities shall be centered in the easement or dedicated area. A wider easement or



dedicated area may be required depending upon the depth and slope of the utility, Section 281-51.B. General Note 16 on the cover sheet declares that the sanitary sewers will be offered for dedication to West Whiteland Township. Therefore, sufficiently wide easements shall be provided and shown on the plans, for all sewers that are proposed to be dedicated and are not within road right-of-way that will be dedicated. Where the sanitary sewer is within non dedicated roadways, we recommend that we recommend that the easement parallel curb to curb. We also recommend that either smaller trees be considered or those currently proposed be moved further away from the sanitary sewer line in the area behind unit 165 and in front of 35. No trees or shrubs shall be proposed within the defined sanitary sewer easements noted above.

22. An improvements agreement and guarantee is required, Section 281-54. The applicant shall provide a draft improvements agreement and financial security cost estimate. The agreement shall identify the proposed phases of the project, taking into consideration the constructability of each phase.

COMPLIANCE WITH STORMWATER MANAGEMENT ORDINANCE

23. Section 270-19 requires site designs to address water quality. Since infiltration is not feasible on this site, the Managed Release Concept (MRC) outlined by PaDEP has been used to address the water quality requirements. We find this to be acceptable. We note that the issuance of an NPDES permit for this project will satisfy Section 270-19.
24. The applicant shall provide the Township with the “letter of adequacy” from the Chester County Conservation District for the E&S Plan prior to the Township endorsing the plan, Section 270-17.A(1)(a).
25. The applicant shall provide the Township with a copy of the required NPDES Permit prior to the Township endorsing the plan, Section 270-17.A(1)(b).
26. Measures must be taken to prevent the small orifices (those less than 3”) from clogging, Section 270-29.A(5)(a). Trash racks or screenings are insufficient as these would need to be too small to prevent clogging. In order to prevent clogging, the orifice must be isolated within a structure that does not receive runoff from another orifice/weir or overflow inlet.
27. All storm sewers beneath a paved surface shall be bedded and backfilled with PennDOT No. 2A stone up to the paving subbase, Section 270-29.E(4). This applies to all storm sewers within streets that are to be dedicated.
28. Stormwater roof drains shall not discharge water directly over a sidewalk, Section 270-29.F(1). We previously commented that proposed roof drains and collector locations shall be shown on the plans, Section 270-29.F(2). The design engineer has responded that “roof drains are currently shown for units 16-27. All other units are being proposed to discharge to grade.” Roof drains and collector locations shall be shown on the plans such that runoff will not discharge over a sidewalk and note 25 of the grading and utility notes on sheet 14 shall be revised.
29. Calculations must be provided for all proposed level spreaders. The response indicated level spreader calculations were included; however, it appears none were provided.
30. All orifices less than three (3) inches shall be indicated as both a decimal and fraction of an inch (to the nearest half, quarter, eighth or sixteenth, as applicable) for constructability purposes.

SANITARY SEWER SYSTEM

31. On sheet C06.2 the “Sanitary MH S3 to Ex. MH Profile” labels the existing manhole as “PROP. MANHOLE MHEX”. The label shall be corrected to indicate that it is an existing manhole.



32. Manhole MH S3 shall be labeled as a drop manhole.
33. The following West Whiteland Township/SSM details shall be added to the plan:
 - a. S-05: Typical Service Lateral connection to P.V.C. Main
 - b. S15: Drop Manhole Section for New Manhole
 - c. S-17: Drop Manhole Section using Precast Drop Collars
 - d. S-26: Watertight Manhole Frame and Cover Installation – Bolt Down Cover
 - e. S-27: Watertight Manhole Frame and Cover Installation – Inner Sealing Lid
 - f. S-28: Manhole Anchor Bolt Detail – Stainless Steel
 - g. S-31: Heat Shrinkable Manhole Seal
34. The concrete encasement detail shall be removed if it refers exclusively to sanitary sewer.
35. We have the following comments regarding the proposed connection to the existing sewer manhole:
 - a. The invert of the existing manhole shall be field verified prior to construction and the invert of the new pipe shall be designed to be a minimum of a 0.1' above the existing invert.
 - b. The location of the steps shall be verified prior to construction.
36. A minimum of 10' shall be provided from the sewer line to any building to provide sufficient room for repairs. There is insufficient space next to units 148, 149, 165 and 166.

GENERAL

37. Waiver requests from Section 281-26.C and from Section 281-26.B(1), (i.e., waivers no. 4 and 5, respectively) appear to have been accidentally switched, based on the relevant code section. Section 281-26.B(1) shall be updated and reflect requirements in regard to radii. Section 281-26.C shall be updated and be in regard to reverse curves. Ideally, all waiver requests shall be organized numerically based on the code sections.
38. The “Typical Driveway Depressed Curb and Apron Detail” shall clarify the type of depressed curbing of the driveway (i.e., concrete curb or belgian block curb) and indicate the location of proposed concrete joints.
39. A pedestrian circulation plan has been added to the plan set (sheet 8). We have following recommendations:
 - a. Extend the multiuse trail south to the curb ramps at the intersection of Road A and East Lincoln Highway.
 - b. Add a curb ramp along Road C at its northernmost portion such that a pedestrian can cross the street near units 157 and 250.
 - c. Add curb ramps adjacent to Unit 181, on either side of the trash compactor driveway.
 - d. Eliminate sidewalk between Unit 119 and 115 located behind the garages and add sidewalk to the front of the units which the garages serve.
 - e. Add curb ramps on either side of Road A at unit 95.
 - f. Add sidewalk and a curb ramp in front of unit 290 towards unit 117.



40. The plan sheet numbering should be updated as it appears some sheets contain duplicate numbers (i.e. sheet 12).

If you have any questions please feel free to call me.

Sincerely,
Spotts, Stevens and McCoy

A handwritten signature in blue ink, appearing to read "Kent D. Morey".

Kent D. Morey, P.E.
Senior Engineer
kent.morey@ssmgroup.com

Enclosures

cc: Mark Stabolepszy, P.E.

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

TYPICAL SERVICE LATERAL



RMS

08/12

S-05

CONNECTION TO P.V.C. MAIN

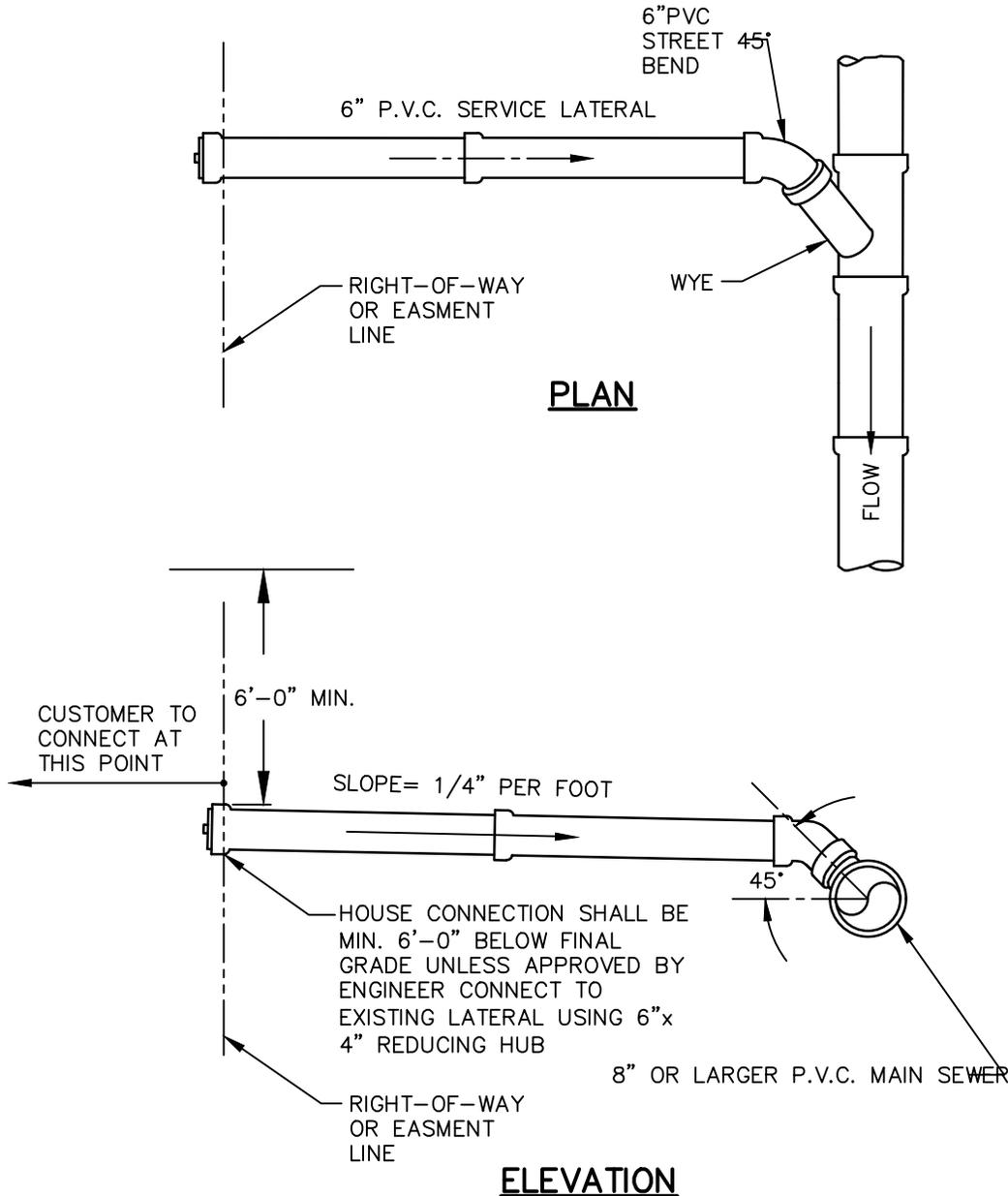
CONSULTING ENGINEERS

APP'D.

DATE

DRAWING NUMBER

REV.



P.V.C. MAIN TYPICAL SERVICE LATERAL CONNECTION

NO SCALE

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

DROP MANHOLE SECTION



RMS

08/12

S-17

USING PRECAST DROP COLLARS

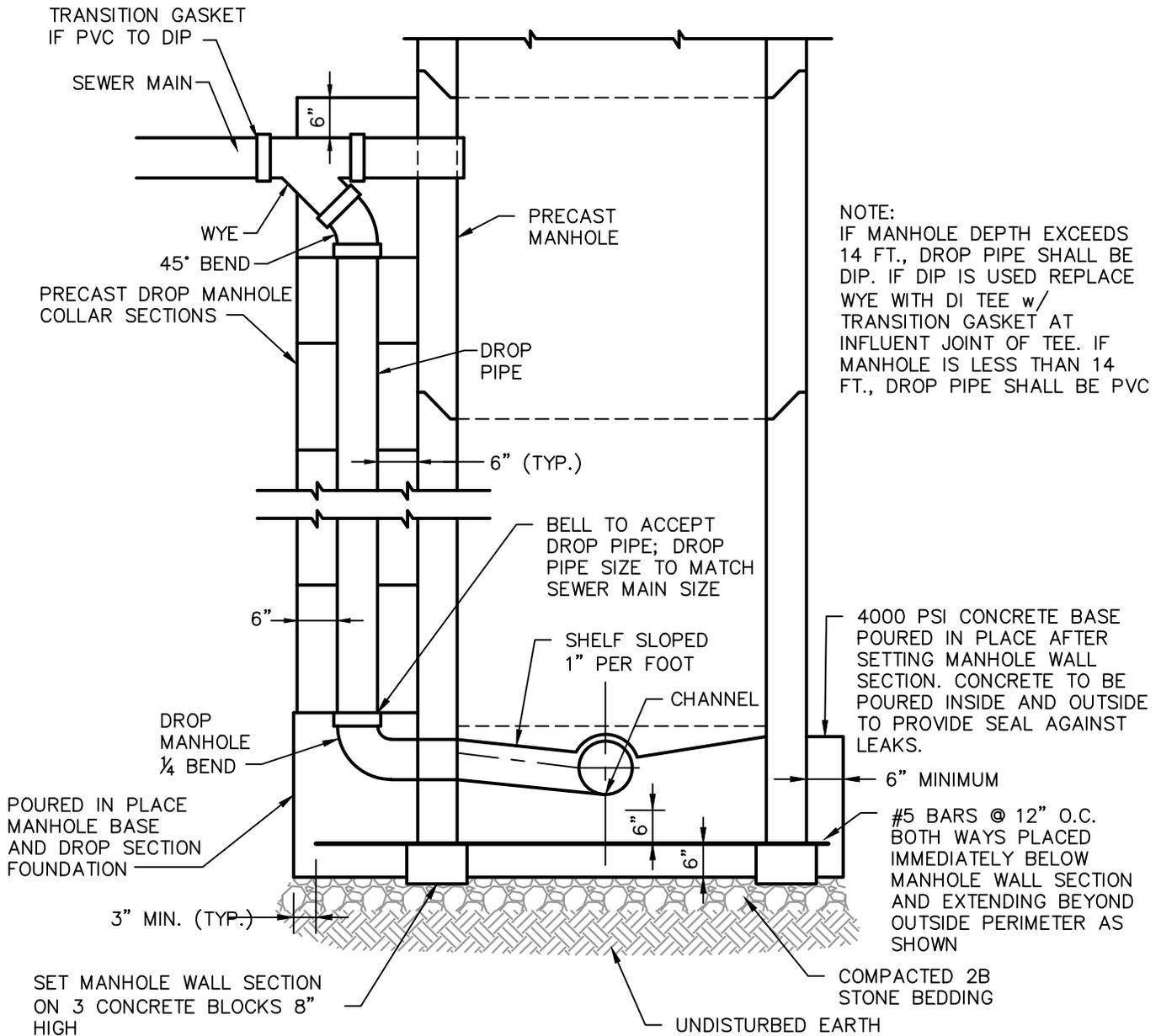
CONSULTING ENGINEERS

APP'D.

DATE

DRAWING NUMBER

REV.



NOTES:

1. DROP CONNECTIONS SHALL BE INSTALLED WHEN THE PIPE INVERTS IN ARE 2'-0" OR MORE ABOVE THE INVERT OUT OF THE MANHOLE.
2. ALL APPLICABLE PROVISIONS OF STANDARD MANHOLE DETAIL S-14 APPLY TO DROP MANHOLES.
3. FOUNDATION FOR DROP SECTION SHALL BE POURED MONOLITHICALLY WITH MANHOLE BASE.

DROP MANHOLE SECTION USING PRECAST DROP COLLARS

NO SCALE

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

WATERTIGHT MANHOLE FRAME AND COVER



RMS

08/12

S-26

INSTALLATION - BOLT DOWN COVER

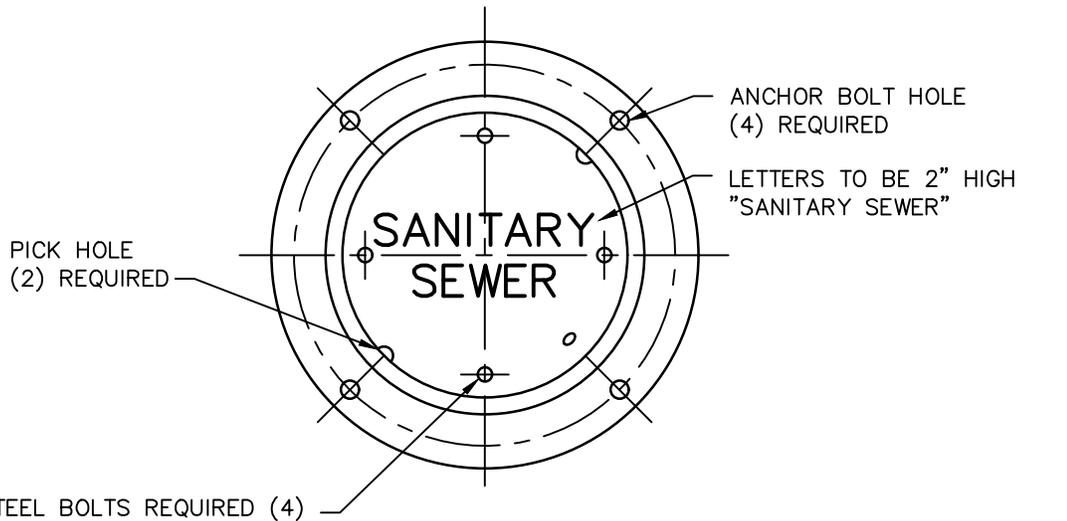
CONSULTING ENGINEERS

APP'D.

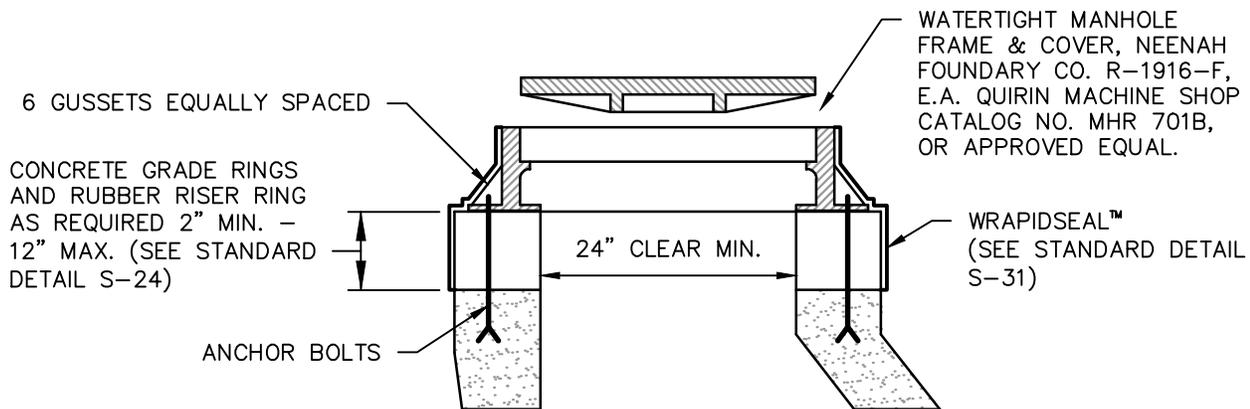
DATE

DRAWING NUMBER

REV.



PLAN



SECTION

NOTES:

1. CAST IRON SHALL HAVE MINIMUM TENSILE STRENGTH OF 30,000 LBS. PER SQUARE INCH AND BE DESIGNED FOR HS-20 TRAFFIC LOADING.
2. PROVIDE BOLT DOWN USING FOUR (4) STAINLESS STEEL BOLTS.
3. FRAME AND COVER SHALL BE SUITABLE FOR LOW PRESSURE APPLICATIONS UP TO 20 PSI.
4. SIZE AND POSITION OF LETTERS TO BE CONFIRMED BY CLIENT.
5. PROVIDE (2) CONCEALED WATERTIGHT PICK HOLES.
6. PROVIDE WATERPROOF NEOPRENE SEALING GASKET.
7. PROVIDE FOUR 1" DIAMETER ANCHOR BOLT HOLES.
8. MARKER POSTS SHALL BE INSTALLED TO MARK MANHOLE LOCATIONS IN OPEN FIELD INSTALLATIONS.

WATERTIGHT MANHOLE FRAME & COVER
INSTALLATION - BOLT DOWN COVER

NO SCALE

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

WATERTIGHT MANHOLE FRAME & COVER



RMS

08/12

S-27

INSTALLATION - INNER SEALING LID

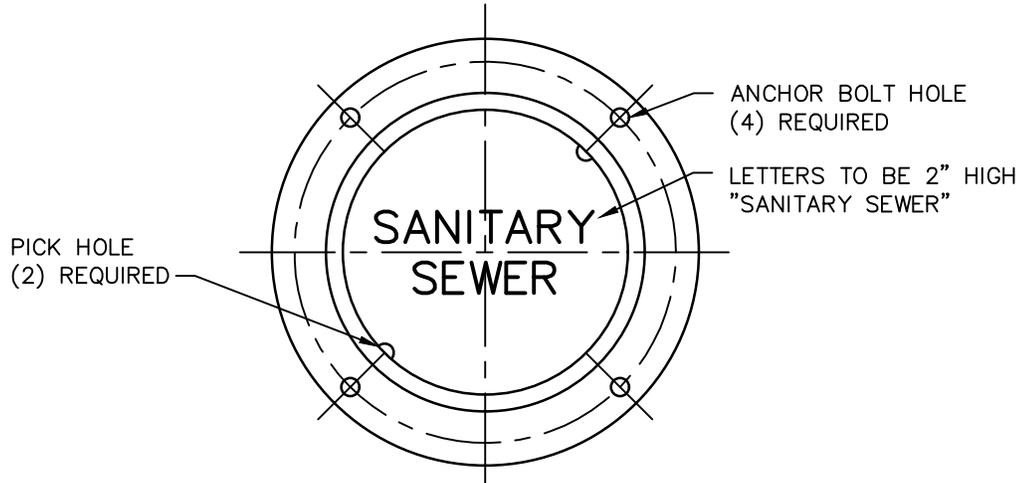
CONSULTING ENGINEERS

APP'D.

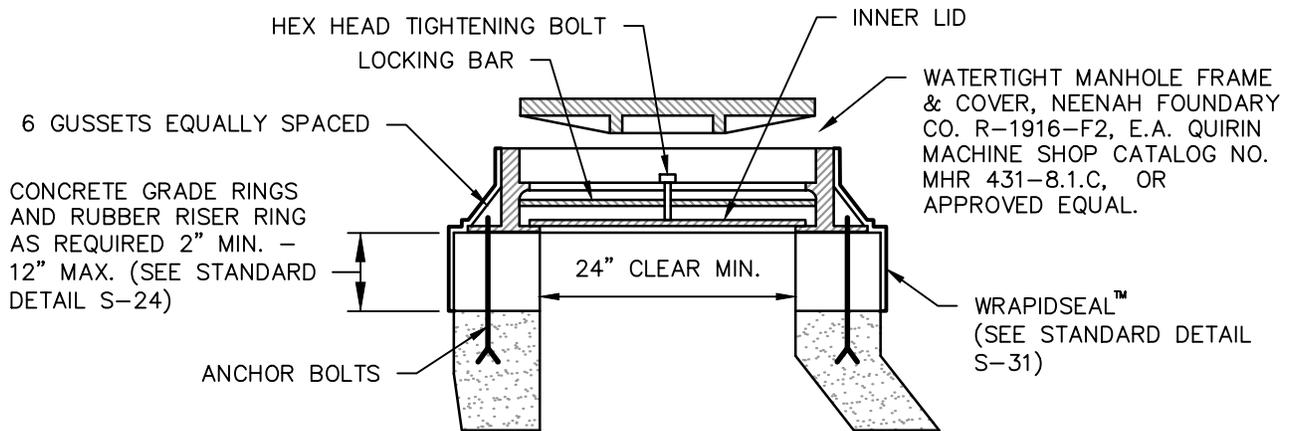
DATE

DRAWING NUMBER

REV.



PLAN



SECTION

NOTES:

1. CAST IRON SHALL HAVE MINIMUM TENSILE STRENGTH OF 30,000 LBS. PER SQUARE INCH AND BE DESIGNED FOR HS-20 TRAFFIC LOADING.
2. PROVIDE INNER LID WITH FLAT NEOPRENE SEALING GASKET AND LIFT RINGS (2). PROVIDE LOCKING BAR WITH HEX HEAD TIGHTENING BOLT.
3. SIZE AND POSITION OF LETTERS TO BE CONFIRMED BY CLIENT.
4. PROVIDE (2) CONCEALED WATERTIGHT PICK HOLES.
5. PROVIDE WATERPROOF NEOPRENE SEALING GASKET ON COVER.
6. PROVIDE FOUR 1" DIAMETER ANCHOR BOLT HOLES..

WATERTIGHT MANHOLE FRAME & COVER
INSTALLATION - INNER SEALING LID

NO SCALE

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

MANHOLE ANCHOR BOLT DETAIL



RMS

08/12

S-28

STAINLESS STEEL

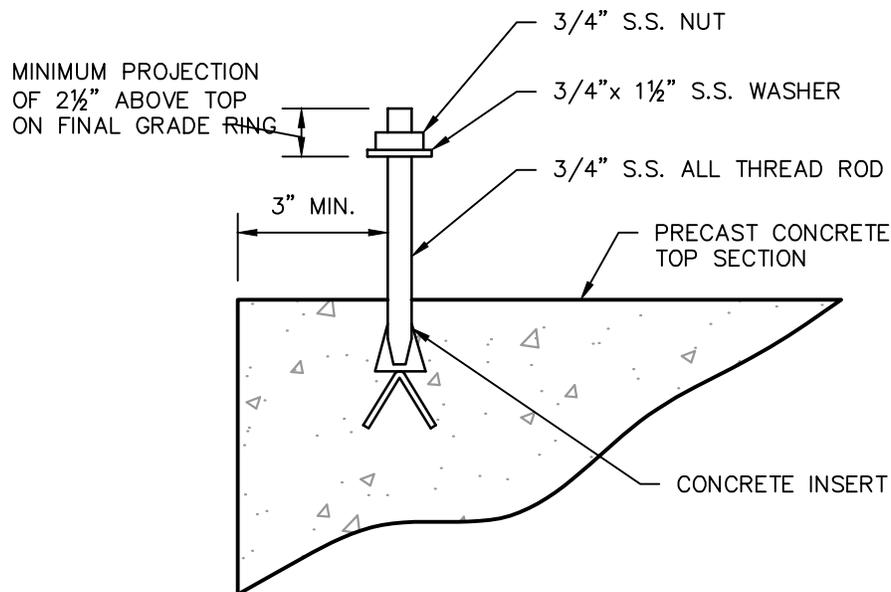
CONSULTING ENGINEERS

APP'D.

DATE

DRAWING NUMBER

REV.



NOTE: 4 REQ'D PER MANHOLE

MANHOLE ANCHOR BOLT DETAIL STAINLESS STEEL

NO SCALE

STANDARD DETAIL

SPOTTS | STEVENS | McCOY

HEAT SHRINKABLE MANHOLE SEAL



RMS

08/12

S-31

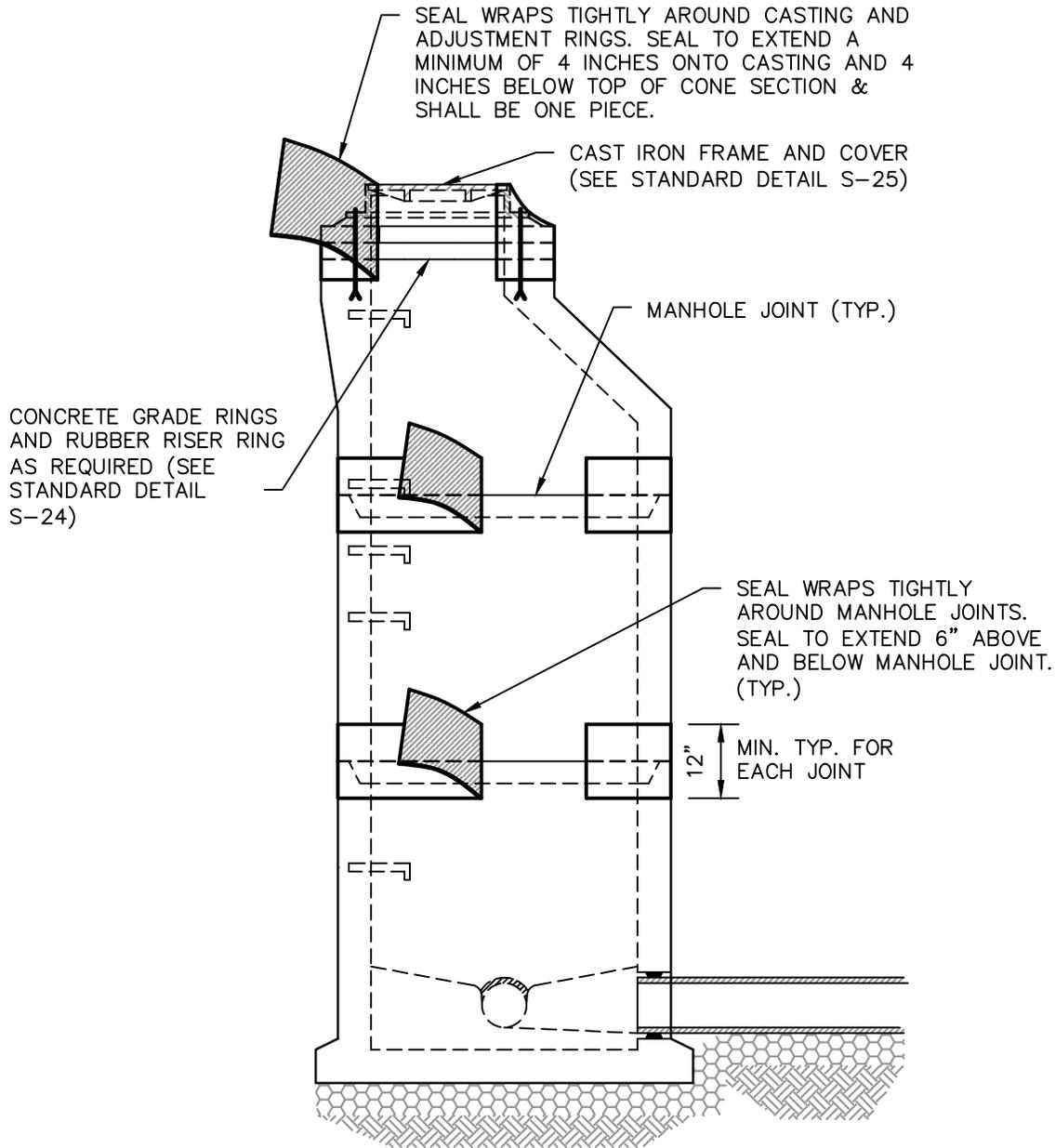
CONSULTING ENGINEERS

APP'D.

DATE

DRAWING NUMBER

REV.



NOTES:

1. MANHOLE SEAL TO BE WRAPIDSEAL™ MANUFACTURED BY CANUSA-CPS OR APPROVED EQUAL.
2. MANHOLE JOINT SEALS INSTALLED AS DIRECTED BY THE ENGINEER AND ON ALL JOINTS 10' OR MORE BELOW FINISHED GRADE.

HEAT SHRINKABLE MANHOLE SEAL

NO SCALE



STUBBE CONSULTING LLC



Phone: 610 972-9803
FAX: 610 326-1402

1438 Shaner Drive
Pottstown, PA 19465

stubbeconsultingllc@gmail.com

July 24, 2020

Mr. Ed. Theurkauf, ASLA
1350 Elbow Lane
Chester Springs, PA 19425

Subject: Exton Knoll Prelim/Final LD, West Whiteland Twp.
Review of Proposed Exterior Lighting

Ed:

Received from Justin Smiley was a request to review proposed site lighting for the Exton Knoll Preliminary/Final Land Development Application. Transmitted with the request were Sheets 1 - 38, Rev. 1 dated 07/20/20.

The preponderance of proposed exterior lighting, contained on Sheet 38, consists chiefly of parking-area and roadway illumination, which is provided by post-top mounted fully-shielded 3000K, 25-watt, 38-watt, and 54-watt LED luminaires, with Type III, IV and V light distribution, mounted at 14' AFG. On/off control is specified to be by photocell, for dusk-to-dawn operation.

The following observations, concerns and recommendations are offered for Township consideration, based on the lighting requirements contained in S/LDO Section § 281-48., and reasonable and customary engineering practices:

1. Luminaire Symbols -

- a. The luminaire descriptions in the luminaire Schedule contain a symbol for each luminaire type. In addition to that symbol, the lighting layout utilizes a large black circular or oval line around each luminaire location symbol. It is not clear whether the circle represents an isofootcandle line, and if so, what footcandle level does it represent, or is it an alternative/secondary luminaire symbol, in which case it should be identified in the Lighting Plan Schedule or elsewhere. Further, the use of those circular luminaire location symbols adds yet another circle to the plethora of similar landscape circular symbols. **It is recommended Applicant be requested to explain the purpose of those additional luminaire symbols and to take appropriate corrective action to provide clear direction to installer.**
- b. Luminaire Light-Output Direction - For those specified pole-top luminaires with Type III and IV asymmetric light distribution, and those with house-side shields, it is necessary for the proper luminaire orientation to be clearly identified for installers reference. **It is recommended Applicant be requested to include an output orientation arrow (or other means) that provides installer with sufficient information for proper luminaire orientation.**

2. Inadequate Illumination - § 281-48.C.(1) requires that illuminance levels are to be per IESNA recommended practices.

- a. Parking Areas - Plotted values of 0.1 footcandles were found at several parking area locations, e.g., the 10-space parking area on Road B. **It is recommended Applicant be requested to take appropriate corrective action to bring illuminance levels up to a minimum of 0.2 maintained footcandles for all parking areas.**
 - b. Intersection Lighting - The following intersections were not provided with illumination: intersection of Road B with East Loop Rd., and intersection of Road A with East Lincoln Highway. **It is recommended Applicant be requested to provide adequate illumination for those intersections, or to provide suitable justification for not providing illumination.**
3. Luminaire Mounting
- a. Luminaire Mounting Height - Luminaires are specified to be mounted at 14', but there is an element of uncertainty. The luminaire contains a 22" long base between the luminaire light-emitting portion and the top of the pole supporting it. As a result, it is not clear whether the specified 14' mounting height is as measured from finished grade to the light emitting portion of the luminaire, or to top of pole, which is 22" below light-emitting height AFF. **It is recommended Applicant be requested to confirm whether the mounting height of the luminaire, as used to plot the illuminance values, was at the light-emitting height of luminaire, or at the point of connection of the luminaire base and its pole, almost 2' higher.**
 - b. Light-Pole Specification - A specification of required light pole could not be found. **It is recommended Applicant be requested to specify on Lighting Plan, the complete catalog number(s) of poles supporting luminaires.**
 - c. Light-Pole Foundation Detail - A detail of required light-pole foundation was not provided. **It is recommended Applicant be requested to provide a detail of the foundation/footing to be used to support the light poles, including its projection AFG.**
4. Pole Protection - § 281-48.C.(5)(d) requires that to avoid being struck by backing vehicles, poles supporting luminaires that are located directly behind parking spaces shall be set back a minimum of 5' from face of curb or tire stops, or set atop a 30" pedestal, or protected by a steel bollard, other suitable means. **It is recommended Applicant be requested to add appropriate pole set-back dimension or foundation height requirements to Lighting Plan.**
5. Operating Hours of Lighting - § 281-48.C.(3)(c) requires that, unless otherwise permitted by the Board of Supervisors, lighting shall be controlled by automatic switching devices to extinguish sources between 11:00 p.m. and dawn. Where all-night safety or security lighting is deemed necessary, the lighting intensity levels shall generally not exceed 25% of the levels normally permitted by IESNA for safety and/or security. Lighting Note 4 states that lighting is to operate dusk-to-dawn.
- a. Plan is silent as to whether photo cells are to be integral to each luminaire or centrally located for dusk-to-dawn on/off operation. **It is recommended**

Applicant be requested to provide information as to PC location(s) on Lighting Plan.

- b. Is all-night lighting of the site justified? In the interest of controlling unnecessary all-night brightness and light trespass into residents' windows, it is recommended Applicant be requested to add the bi-level motion sensor feature to luminaires, thus having lighting energized temporarily, only when motion is sensed by a luminaire or group of luminaires.

6. Potential Landscape/Lighting Conflicts -

It is recommended Applicant be requested to have the landscaping and lighting disciplines review lighting and landscaping plans for the potential occurrence of foliage blockage of intended light distribution, at or before tree maturity, and to take corrective action as needed.

7. Lighting Notes - § 281-48.E.(3)(c) requires the addition of the following notes to Lighting Plan:

- a. (1) West Whiteland Township reserves the right to conduct one or more post-installation nighttime inspections to verify compliance with the requirements of this section, and if appropriate, to require suitable remedial action at no expense to Township.
- b. Post-approval alterations to lighting plans or intended substitution for approved lighting equipment shall be submitted to West Whiteland Township for review and approval prior to installation.

It is recommended Applicant be requested to add above Ordinance-required notes.

8. Other Exterior Lighting - Only roadway and parking-area lighting has been proposed. **If other exterior lighting is proposed, e.g.: flag, horticultural, signage (entrance or otherwise), path, pump house (parking/and or building entrance, trash facility, mail box area, pool/clubhouse, building mounted lighting, it is recommended Applicant be requested to submit the proposed lighting information for Township review and approval as part of this Application, or to explain to satisfaction of Township, why such other lighting is not part of this LD Application.**

It is recommended Applicant be requested to address the above exterior lighting concerns to the satisfaction of the Township. If there are questions or concerns with respect to this review, please advise.

Sincerely,

Stubbe Consulting LLC



C. Stanley Stubbe

Copy: Justin Smiley, WWT



MEMORANDUM

TO: John Weller, AICP, West Whiteland Township Planning Director and Zoning Officer
Justin Smiley, AICP, Township Planner
Thomas Bentley, Bentley Homes Ltd.
Scott Emerson, Bentley Homes Ltd.
David W. Gibbons, P.E., D.L. Howell & Associates, Inc.
Patrick J. Stuart, RLA, ASLA, MCRP, Orsatti & Stuart Associates, Inc.

FROM: Edward A. Theurkauf, RLA, ASLA, APA
Kelsey Stanton Murphy, ASLA

DATE: August 5, 2020; **revised**

SUBJECT: **REVIEW COMMENTS – EXTON KNOLL (FRAME PROPERTY)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN DATED 7-20-20**

Please note our review comments pertaining to the following documents received on 7-21-20, to the Conditional Use Decision and Order dated 4-8-20, and to an on-site meeting with the applicant and project landscape architect on 1-21-20:

- Land Development Plan consisting of 38 sheets;
- Response letter dated 7-21-10 from Orsatti & Stuart Associates, Inc.; and
- Exton Knoll Tree Assessment dated 7-13-20 from Rockwell Associates.

Issues that have been addressed are so noted. New issues are in bold.

Comment #9 has been revised to address conflicts between proposed landscaping and sanitary sewer utilities.

**REVIEW COMMENTS – EXTON KNOLL (FRAME PROPERTY)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN DATED 7-20-20**

August 5, 2020; revised

1. Recreation Amenities – Section 281-47.D of the subdivision and land development ordinance (SLDO) requires that recreation areas meet the needs of the community. **The plan has been revised to indicate a recreational program for Lot 1 and Lot 2 communities that includes playgrounds, dog parks, trails, a pool, and BBQ and seating areas. The following layout and specification concerns shall be addressed:**
 - a. Playground Access – As configured, families in the south end of Lot 2 would have to walk over a quarter mile to a playground on the far side of a stormwater basin from residences. **We recommend that the Lot 2 playground be relocated to a central location for convenient access for families with young children and strollers.**
 - b. Playground Details – The plan does not indicate surface treatment details for the proposed playgrounds. It shall be revised to specify appropriate surfacing for play facilities.
 - c. Playground Location – The plan proposes a playground **and dog parks** in the floodplain. **The Township Engineer should comment on the acceptability of amenities in the floodplain.**
2. Multi-modal Accessibility – Condition #7c of the Conditional Use Decision and Order (CUDO) requires safe pedestrian access along Lincoln Highway. Section 325-37.A.7.a.1 of the zoning ordinance (ZO) requires developments to provide pedestrian facilities that implement the Township Comprehensive Plan. Section 325-37.A.7.a.2 (ZO) requires adequate pedestrian access to community facilities.

The following shall be addressed prior to plan approval:

- a. Lincoln Highway Sidewalk – The Township’s 2019 Bicycle and Pedestrian Plan proposes a sidewalk across the property’s Lincoln Highway frontage to the Church Farm School. The plan indicates a sidewalk that ends at the development’s east entrance, **with a crosswalk for safe pedestrian access. The Township shall indicate the acceptability of the sidewalk as shown.**
- b. Lincoln Highway/Springdale Drive Intersection Improvements – The 2019 Bicycle and Pedestrian Plan proposes high-visibility crosswalks and upgraded pedestrian signalization at the Lincoln Highway/Springdale Drive intersection as part of land development.

The plan does not specify crosswalk improvements on the north side of the intersection. **The project landscape architect has advised that this will be addressed in the highway occupancy permit submission. We defer to the Township on the acceptability of this approach.**
- c. Multi-Use Path Access – The plan indicates a multi-use path with trailhead access adjacent to the traffic circle, and 5-foot wide sidewalk connections to Lots 1 and 2. **The plan has been**

**REVIEW COMMENTS – EXTON KNOLL (FRAME PROPERTY)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN DATED 7-20-20**

August 5, 2020; revised

revised to extend the multi-use path to the traffic circle for convenient bicycle access. We consider this issue resolved.

- d. Grass Path – The plan has re-designed the 8-foot-wide grass path on Lot 2 as a nature trail that facilitates exploration of the open space and includes furnishings like bird houses and seating. We consider this issue resolved.

- 3. Tree Removal and Compensatory Plantings – Compensatory plantings per section 281-34.G (SLDO) are required for mature trees that are removed. The 7-13-20 Tree Assessment report identifies trees to be removed for which mitigation plantings are required, as follows:

<u>Description</u>	<u>Diameter Inches Removed</u>	<u>Required Compensatory Inches</u>
Trees 12-24 inch DBH	74	18.5
Trees 24-36 inch DBH	25	8.3
Trees 36+ inch DBH	46	23.0
Total Compensatory Tree inches required		49.8
Total Compensatory Trees required		25
Total Compensatory Trees proposed		869

This issue has been resolved.

- 4. Screen Buffer – Condition #6 (CUDO) requires a landscaped buffer along the east property line per Township and Church Farm School satisfaction. Section 281-35 (SLDO) requires screen buffers with plantings as follows:

<u>Buffer/ Length</u>	<u>Plant Type</u>	<u>Required</u>	<u>Proposed</u>
North/ 1,457 LF	Shade Tree	29	*
	Evergreen Tree	58	78
	Large Shrub	146	*
East/ 1,345 LF	Shade Tree	27	27
	Evergreen Tree	54	58
	Large Shrub	135	169

* Existing vegetation to remain satisfies planting requirements.

We consider this issue resolved. The Church Farm School shall indicate its satisfaction with the proposed east screen buffer.

- 5. Perimeter Buffer – Section 281-35.E (SLDO) requires perimeter buffers with plantings as follows:

**REVIEW COMMENTS – EXTON KNOLL (FRAME PROPERTY)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN DATED 7-20-20**

August 5, 2020; revised

<u>Buffer/ Length</u>	<u>Plant Type</u>	<u>Required</u>	<u>Proposed</u>
Lincoln Hwy/ 1,546 LF	Shade Tree	15	15
	Evergreen Tree	31	32
	Large Shrub	77	79
West/ 1,362 LF	Shade Tree	14	17
	Evergreen Tree	27	27
	Large Shrub	68	75*

***Equivalent value of (25) evergreen trees in excess of buffer requirements**

In accordance with section 281-33.D.9 (SLDO), we accept surplus evergreen trees as fulfilling the west buffer shrub requirement. This issue has been resolved.

6. Basin Planting – Condition #5i (CUDO) requires naturalistic basin landscaping. In accordance with section 281-34.F.4 (SLDO), naturalistic basins shall be planted with 100% native vegetation. The plan proposes a basin planting mix with non-native species that provide wildlife and aesthetic benefits. We would support a waiver to permit basin plantings as shown.
7. Utility Screening – Section 325-15.1.A.1 (ZO) promotes development with high aesthetic quality in the O/R District. Section 281-35.B.6 (SLDO) requires utility equipment not enclosed in a building to be fully and completely screened from view from any adjacent residential uses.
 - a. Storage Building – The plan proposes a storage building adjacent to townhomes without a complete vegetated screen. The plan shall indicate sufficient architectural treatments to the building in order to justify the proposed lack of vegetative screening.
 - b. Trash Compactor – The plan indicates a vegetative screen for the north side of the trash compactor, but no screening from the adjacent street or units to the south. The plan shall provide construction details that demonstrate that the trash compactor will present a compatible view from the street and nearby dwellings.
8. Street Trees – Section 281-36 (SLDO) requires street trees as follows within the right-of-way:

<u>Frontage/Length</u>	<u>Required</u>	<u>Proposed</u>
Lincoln Hwy/ 1,596 LF	32	32*
East Loop Rd/ 5,765 LF	115	115
Loop Rd Connector/ 1,200 LF	24	24
West Loop Rd/ 4,775 LF	96	92

* Outside of ROW

- a. Lincoln Highway – A sewer easement and overhead wires prevent street trees in the ROW as required. We would not object to a waiver to permit street trees outside of the ROW.

**REVIEW COMMENTS – EXTON KNOLL (FRAME PROPERTY)
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN DATED 7-20-20**

August 5, 2020; revised

12. Species Suitability – Section 281-33.C.4.e (SLDO) requires plantings to reflect consideration of disease resistance. **The plan has been revised to specify less than 20% of proposed street and shade tree species as Princeton Elm. We consider this issue resolved.**
13. Landscaping Inspection – **Sheet C09.2 has been revised to specify landscaping inspection by the Township. This issue has been resolved.**
14. Cost Estimate – Section 281-33.C.6.h (SLDO) requires a cost estimate of proposed plantings to be included with the final plan. The required cost estimate has not been submitted.
15. Conclusion – **The noted issues shall be resolved prior to approval.**

Please contact this office with any questions.



TRAFFIC PLANNING AND DESIGN, INC.

WWW.TRAFFICPD.COM

August 5, 2020

Ms. Mimi Gleason, Township Manager
West Whiteland Township
101 Commerce Drive
Exton, PA 19341

RE: Exton Knoll
Preliminary/Final Plan Review
West Whiteland Township, Chester County
TPD# WWT-00206

Dear Mimi:

In our role as Township Traffic Engineer, Traffic Planning and Design, Inc. (TPD) reviewed the following items which were received in our office on July 21, 2020:

- Preliminary/Final Plans prepared by D.L. Howell, dated May 15, 2020, last revised July 20, 2020;
- Response to TPD Comments prepared by McMahon Associates, Inc. (McM), dated July 21, 2020.

Based on our review, we offer the following comments using the same numbering system as our June 9, 2020 review letter for those comments not yet addressed. Comments that were addressed are not shown.

Transportation Study Comments

1. The study assumes 35% of the traffic entering the site will enter via a left turn movement into Livingston Lane and 15% will enter via a left turn movement at the signalized access across from Springdale Drive. In our opinion, the driveway assignments for the two left turn entering movements mentioned should be switched to assume 15% of the traffic entering the Livingston Lane access and 35% entering the signalized access. While this will likely not have any significant impacts to the study results, it may affect the proposed traffic signal timings. Therefore, the revised trip assignment should be used for traffic signal design.

Previous Plan Comments

2. A Highway Occupancy Permit (HOP) will be needed from PennDOT for the proposed access points and associated improvements on Lincoln Highway. The Township should be copied on all submissions to PennDOT and the latest TPD review letter should be included in all submissions to PennDOT. TPD will prepare a detailed review of the Lincoln Highway intersection designs and other improvements along Lincoln Highway once they are submitted.
4. Yield lines should be provided in advance of the crosswalks on the approaches to the traffic circle.
6. The following comments pertain to the traffic control signage:
 - a. The "Stop" sign on the southbound Road "C" approach to the intersection with Road "C" should be labeled "S2" in lieu of "S1" because the intersection is not all-way stop controlled.
 - b. All "Stop" signs must be 30" x 30" in lieu of 24" x 24".
8. The crosswalks on the right-in/right-out driveway at the intersection with Lincoln Highway should be revised to cross perpendicular to the driveways and closer to Lincoln Highway. It appears that the handicap ramps on the eastern and western sides of the driveway can remain in their current locations and only the ramps on the channelizing island will need to be revised.
13. The corner radii at the intersection of Road "A" and the traffic circle need to be increased to 25 feet in accordance with Section 281-28.D of the West Whiteland Township Subdivision and Land Development Ordinance (SALDO).
15. A school bus template is shown only for the right turn movement from Road B to the right-in/right-out driveway. In a February 26, 2020 email from Kevin Campbell of the West Chester Area School District to Scott Emerson, the School District states the only plan that works for them is one that permits buses to travel in both directions on the road segments to be dedicated to the Township. Therefore, school bus templates need to be provided along the entire bus route on the public roads demonstrating that buses can enter the site via the signalized access and exit via the right-in/right-out driveway and that buses can enter the right-in/right-out driveway and exit via the signalized access.
17. Sight distance triangles of 130 feet are shown on sheet 4 of 38 and 37 of 38 for the street intersections but must be revised to 150 feet per the SALDO. The sight distance triangles on sheet 37 of 38 also need to be labeled.

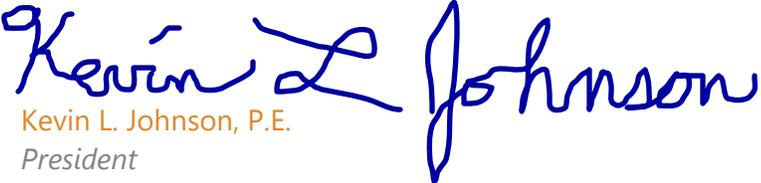
Ms. Mimi Gleason
August 5, 2020
Page 3

New Plan Comments

23. A crosswalk should be provided on Lincoln Highway at the signalized intersection with Springdale Road to provide a pedestrian connection from the bus stop on the north side of Lincoln Highway to/from the Whiteland Business Park.

We reserve the right to make additional comments upon receipt of subsequent submissions.

Sincerely,


Kevin L. Johnson, P.E.
President

kjohnson@TrafficPD.com

Cc: John Weller, AICP
Justin Smiley, AICP
Ted Otteni, P.E.
Jerry Baker, P.E.
Eric Hammond, TPD

MEMORANDUM

DATE: August 5, 2020
TO: John Weller, Director of Planning and Zoning
FROM: Theodore D. Otteni, P.E.
Director of Public Works
**SUBJECT: Exton Knoll Development
Land Development Review**



I have reviewed the land development plans for Exton Knoll Development with a plotted date of 7/20/20 and offer the following comments:

1. Assuming the sanitary sewer collection system (exclusive of laterals) will be dedicated to the Township:
 - a. Provide a 20 ft. wide sanitary sewer easement (10 ft. each side of pipe centerline) along all pipe runs. A general access easement for maintenance may also be an option.
 - b. Verify that there are no structures (or other impediments for access) within 10 ft. each side of pipe centerline. The following sewer runs appear very close to buildings:
 - i. run S8 to S7
 - ii. run S3 to S2
2. Provide a copy of the PennDOT HOP to the Township. We would like to work with the applicant for the upgraded signal requirements prior to formal submission to PennDOT.

MEMORANDUM



DATE: August 6, 2020

TO: Justin Smiley/Township Planner

FROM: Mark Moses/Fire Marshal

SUBJECT: Exton Knoll Fire Marshal Review

I have review the DLH response dated 7/20/2020. All of my previous concerns have been adequately addressed. Contact me with any questions.



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O’Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

June 19, 2020

John R. Weller, AICP, Director of Planning & Zoning
West Whiteland Township
101 Commerce Drive
Exton, PA 19341

Re: Preliminary/Final Subdivision and Land Development - Exton Knoll
West Whiteland Township – SD-05-20-16348 and LD-05-20-16349

Dear Mr. Weller:

A Preliminary/Final Subdivision and Land Development Plan entitled "Exton Knoll", prepared by DL Howell & Associates, Inc., and dated May 15, 2020, was received by this office on May 20, 2020. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision and land development for your consideration.

PROJECT SUMMARY:

Location:	north side of East Lincoln Highway, west of Church Farm Lane
Site Acreage:	56.58
Lots/Units:	2 Proposed Lots; 319 Proposed Townhouse Units
Non-Res. Square Footage:	0
New Parking Spaces:	382
Municipal Land Use Plan Designation:	Business Park; Parks, Permanent Open, and Resource Conservation; and Character Area 1-Lincoln Highway and Whitford Road Corridors Plan
UPI#:	41-6-2, 41-6-2.1, 41-6-2.2, 41-6-3, 41-6-4, 41-6-4.1, 41-6-4.2

PROPOSAL:

The applicant proposes the consolidation of seven parcels into two parcels, along with the construction of 319 townhouse units. Sheet 3-Overall Site Plan indicates that 220 rental units will be located on Lot 1, and 99 for-sale units will be located on Lot 2. While an existing pump house will remain on Lot 1, all other existing buildings will be removed. Vehicular access will be provided from two driveway entrances on East Lincoln Highway, which includes a right-in/right-out only entrance to the east of the primary entrance. Additionally, secondary access will be provided from the proposed extension of Road C to Livingston Lane on the adjoining Lochiel Farms site to the east. Sheet 6-Open Space Plan indicates that the 16.2 acres of proposed open space includes a 1.39 acre recreation area in the central portion of Lot 1. The project site, which will be served by public water and public sewer, is located in the O/R Office/Residential zoning district.

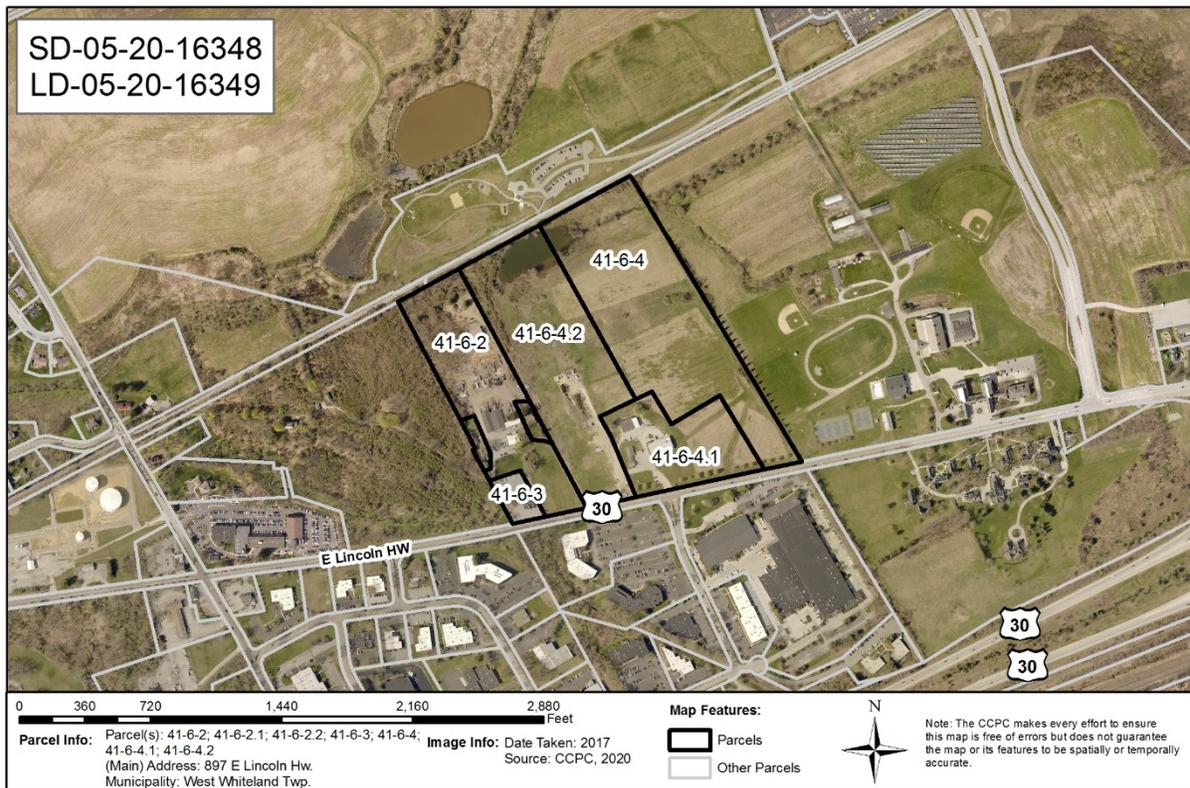
RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed, particularly the Chester Valley Trail issues discussed in comments #3

through #6, and all Township issues should be resolved before action is taken on this subdivision and land development plan.

COUNTY POLICY:

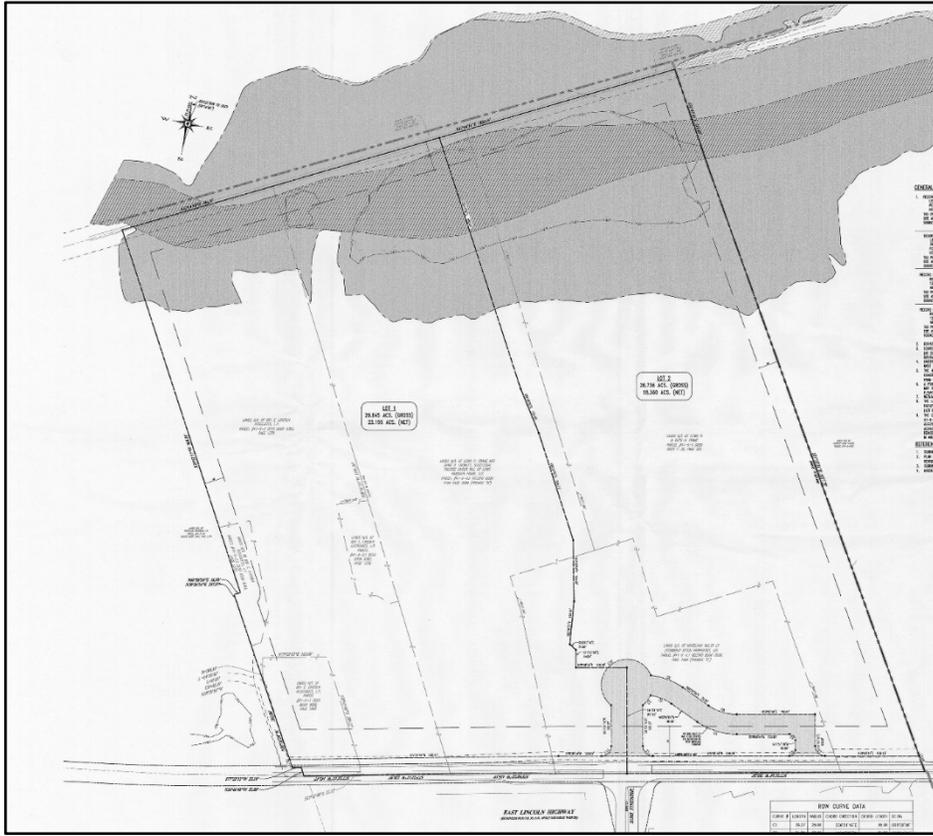
LANDSCAPES:

1. The project site is located within the **Suburban Landscape** and **Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided. As an overlay of all other landscapes, the county’s **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. While townhouse development is an appropriate use in the **Suburban Landscape**, careful consideration of the proposed development activity is required due to existing environmental constraints (these issues are further discussed in comments #14 through #16).



WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Valley Creek (West) subbasin of the Brandywine Creek watershed. **Watersheds’** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of “impaired” streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.



Site Plan Detail, Sheet 2: Preliminary/Final Subdivision – Exton Knoll



Site Plan Detail, Sheet 3: Preliminary/Final Land Development – Exton Knoll

PRIMARY ISSUES:

Chester Valley Trail:

3. The site plan depicts an eight foot wide walking trail that extends to the Chester Valley Trail located along the northern tract boundary. The County has in place an approval process to allow a connection to the Chester Valley Trail. The applicant should contact the Chester County Department of Facilities (telephone # 610-344-6220) to enter into a standard Trail Connection Agreement. This requires the applicant to be responsible for the construction and maintenance of the connecting trail to be constructed within the Chester Valley Trail right-of-way. The agreement also requires the connecting trail to be constructed to Federal Americans with Disabilities Act (ADA) standards within the limits of the Chester Valley Trail right-of-way.
4. Public users of the Chester Valley Trail and the Exton Park site have been observed using the existing pond on the northernmost portion of the project site for bird watching and fishing. We suggest that the applicant and Township consider the placement of a public access easement to the pond/riparian area to allow a continuation of this use.
5. The Trail Installation Note on Sheet 1 should be revised to reflect the new County Department name and new Director: Chester County Department of Facilities, Janet L. Bowers, jbowers@chesco.org.
6. Sheet 5-Title Plan should label the limits/right-of-way line for the County's Chester Valley Trail.

Access and Circulation:

7. We acknowledge, and endorse, that the proposed sidewalk network includes sidewalks along East Lincoln Highway from the easternmost driveway entrance to the Lochiel Farms development to the west. We suggest that the applicant and Township consider extending the proposed sidewalk network to the adjoining parcel boundary to the east. Sidewalks are an essential design element in the **Suburban Landscape**.

Additionally, we acknowledge that sidewalks are provided along Road C, which extends to Livingston Lane on the eastern end of the Lochiel Farms site. The County Planning Commission reviewed the preliminary land development which addressed the construction of 140 townhouse units on the 32.36 acre Lochiel Farm site on May 18, 2018 (CCPC# LD-04-18-15391). According to our records, this plan submission was approved by the Township on February 13, 2019.

8. The Transportation Impact Study, prepared by McMahon Associates, Inc., dated March 27, 2020, was included with the plan submission. We note that the proposed improvements identified in the study (page 17) include providing ADA compliant pedestrian facilities across the northern site access, and the western leg of the site access/Springdale Drive and Lincoln Highway intersection. We also acknowledge, and endorse, that condition #9 of the conditional use decision (which is further discussed in comment #20) states that a pedestrian connection shall be provided to the existing bus stop near the southeastern corner of the property.
9. The Township should review the location and design of the proposed trail system. We note that the section of the trails system that runs through the center of the development (in the rear yards of units 118-152) appears to be redundant, as cyclists could use the driveways, and pedestrian could use the walkways, for a trail connection that could begin in the vicinity of the storage facility in the northwest quadrant. Removing this section of the trail system would reduce stormwater runoff as well.

We recommend that all trail corridor location and design details be incorporated into the final plan, and we also recommend that any trails be constructed prior to the Township issuing any building occupancy permits for this development.

10. General Note 38 on Sheet 1 indicates that a 40 foot wide ultimate right-of-way is provided along the property's frontage along East Lincoln Highway (State Route 3070), which is offered for dedication. We recommend that the applicant and the Township contact PennDOT to determine the appropriate right-of-way to be reserved for this section of the Lincoln Highway. We note that the recommended improvements identified in the Transportation Impact Study include widening the Lincoln Highway at the site access/Springdale Drive intersection to provide a 150-foot westbound right-turn lane. We also note that General Note 28 on Sheet 1 states that, while a portion of the entrance roads will be offered to the Township, the rest of the roadway network will be privately owned.

Design Issues:

11. The Township should verify that the design of the proposed outdoor lighting plan (Sheet 35) conforms to Township ordinance requirements. The illumination should be directed inward from the periphery of the site and be oriented to reduce glare and visual impact on the adjoining roadways and land uses.
12. The Township should verify that the proposed landscaping plan (Sheet 36) conforms to Township Ordinance landscape and screening requirements. Additionally, condition #6 of the conditional use decision (which is further discussed in comment #20) states that, prior to the submission of the land development plan, the applicant shall meet with the representatives of the Church Farm School and come to an agreement regarding the details of the required landscaped perimeter buffer to resolve their concerns about security and aesthetics, to the satisfaction of the Township.

The 2009 Township Historic Resource Atlas, and the Township's January 2020 Historic Resources Map and Sites Listing, both identify that the adjoining Church Farm School parcel to the east, which is situated in the Church Farm School Historic District, contains a Class I Historic Resource that is listed on the National Register. The applicant and Township should work to mitigate any potential negative impacts on the integrity of the existing historic resources in the historic district. We suggest that a viewsshed study be prepared to verify the effectiveness of the landscaped buffer, if one hasn't already been prepared for this project. "Appreciate" Objective A of *Landscapes3*, the 2018 County Comprehensive Plan, is to preserve historic resources in their context while supporting appropriate reuse as a vital part of our community infrastructure and character. Additional information on this issue is available online at: www.chescoplanning.org/Landscapes3/1c-Appreciate.cfm.

13. The applicant should identify if any landscaping will be provided within the central island of the roundabout located to the north of the main entrance.

Natural Features Protection:

14. The site is underlain by carbonate geology in which the presence or potential may exist for formation and/or expansion of solution channels, sinkholes and other karst features. These features can present risk of collapse and groundwater contamination that often can be overcome and avoided with careful stormwater management design. The location, type, and design of stormwater facilities and best management practices (BMPs) should be based on a site evaluation conducted by a qualified licensed professional that ascertains the conditions relevant to formation

of karst features, and the PA BMP Manual or other design guidance acceptable to the Municipal Engineer.

15. The northern portion of the site contains land within the 100 year flood plain. Although it does not appear that any development activity will encroach into the floodplain, we note that the northernmost units are located in close proximity to the 100 year floodplain boundary shown on the plan. The County Planning Commission does not support development in the floodplain, and the Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. Development within a floodplain can increase the magnitude and frequency of normally minor floods, and present health and safety problems.
16. The site contains delineated wetlands. Although it does not appear that any development activity will encroach into the delineated wetland area, the applicant should be aware that placement of fill in wetlands is regulated by the Corps of Engineers in accordance with Section 404 of the Clean Water Act (1977) and the Department of Environmental Protection under Chapter 105 Rules and Regulations for the Bureau of Dams and Waterway Management.

Stormwater Management:

17. Land disturbance and land development activities that occur within Chester County must comply with the *County-wide Act 167 Stormwater Management Plan for Chester County, PA* (July 2013) and the associated Act 167 stormwater management ordinance standards adopted by each municipality. We acknowledge that the Post Construction Stormwater Management Report (page 5) indicates that the permanent best management practices (BMP's) proposed for the development are: vegetated swales, constructed filter bioretention basins with internal water storage, extended detention surface basin, forebays, and level spreaders.

Superfund Site:

18. The "Final Remediation Design, AIW Frank/Mid-County Mustang Superfund Site, Operable Unit #1" Report, prepared by HydroGeoLogic Inc., and dated September 2018, was included as Appendix K of the Post Construction Stormwater Management Report. The report identifies that groundwater has been impacted at this site, primarily by volatile organic compounds (VOC's). The applicant should demonstrate that the site meets all federal, state and local standards related to contamination and/or remediation. We note that General Note 34 on Sheet 1 states that the developer shall coordinate with the US Environmental Protection Agency on the location of additional or relocated groundwater wells to be installed on the property.

Vapor Mitigation Plan:

19. General Note 39 on Sheet 1 states that any units within 100 feet of the groundwater plume (which is depicted on Sheet 21), are required to install a sub slab vapor mitigation system in accordance with the Brickhouse Environmental Sub-Slab Vapor Mitigation System Design Report dated March 2020, or as otherwise approved by the Environmental Protection Agency. This report, which is provided on Sheet 8, indicates that, as a precautionary measure, and in cooperation with the EPA, the following sub-slab vapor mitigation will be installed and tested to ensure that chlorinated solvent vapors and/or radon gas are fully isolated from the residential unit's indoor air. We acknowledge General Note 41 on Sheet 1 states that, to the extent required by the EPA, the builder shall record deed restrictions for each unit within 100 feet of the groundwater plume requiring the residential owners to continue the operation and maintenance of the vapor mitigation system until groundwater at the site is remediated, and provide owners with appropriate operations and maintenance (O&M) manuals.

ADMINISTRATIVE ISSUES:

20. Sheet 7-Conditional Use Decision indicates that the applicant obtained conditional use approval for this project on April 8, 2020, with 16 conditions of approval. Prior to granting final plan approval, the Township should verify that all applicable conditions of approval are incorporated into the final plan. While building elevations were not included with the plan submission to the County Planning Commission, condition #4 states that the building height of each residential structure shall not exceed thirty-five (35) feet.
21. The Waivers Requested table on Sheet 1 indicates the applicant is requesting 11 waivers from the provisions of the Township Code, including eight waivers from the design standards in Article IV of the Subdivision and Land Development Ordinance. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
22. There are two waivers identified as Waiver #4 in the Waivers Requested table on Sheet 1. Additionally, there is no Township Code section number provided for Waiver #10. These issues should be corrected by the applicant.
23. General Note 30 on Sheet 1 indicates that a Homeowners' Association (HOA) and/or a rental management company will be responsible for the proposed common facilities/areas. Additionally, condition #13 of the conditional use decision states that the applicant shall present for review and approval by the Township and the Township Solicitor a Declaration of Restrictive Covenants and Easements establishing a homeowners association for the "for sale" townhouse parcel, and a separate Declaration of Restrictive Covenants and Easements for the parcel containing the rental units.

Ownership, maintenance, use provisions, restrictions, and liability responsibilities associated with any common held amenities should be written into the HOA document. The HOA document should include provisions which allow the Township to: intervene and maintain common owned facilities; determine the schedule for Association formation; timing for construction of common facilities; and determine the schedule for transfer of ownership from developer to the HOA of common facilities.
24. The site plan depicts the location of several retaining walls. The Township should verify that the design of the slopes is consistent with all ordinance requirements related to permitted grades, the design and specifications of retaining walls and slope stabilization.
25. The 1.39 acre recreation area in the central portion of Lot 1 includes a clubhouse and swimming pool. The applicant should identify if the residents of the for-sale units on Lot 2 will be permitted to utilize these recreational facilities.
26. There is an unlabeled proposed feature on the site plan, situated to the immediate north of stormwater basin #4 on Lot 2, that is located within the 100-year floodplain. This should be clarified by the applicant.
27. While a Phasing Plan is provided on Sheet 9, the (approximate) time frames for the plan phases are not provided. This should be clarified by the applicant.

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Re: Preliminary/Final Subdivision and Land Development - Exton Knoll
West Whiteland Township – SD-05-20-16348 and LD-05-20-16349

28. The applicant should demonstrate how snow disposal (i.e. snow storage) will be handled for this development. Consideration should be provided for a designated snow disposal area(s) on the project site. Central off-street parking areas should not be utilized for snow storage.
29. The applicant should contact the office of the Chester County Conservation District (CCCD) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities.
30. A Pennsylvania Department of Transportation (PennDOT) permit is required for new or revised access and should be identified on the final plan as required by Section 508(6) of the Municipalities Planning Code.
31. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Whiteland Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Weston Investment Properties, L.P.
Clovelly LTD
DL Howell & Associates, Inc.
891 East Lincoln Associates, L.P.
Anthony Antonelli, District Permits Manager, PennDOT
Francis J. Hanney, PennDOT
Chester County Conservation District
David Stauffer, Chester County Department of Facilities
Robert J. Kagel, County Administrator, County of Chester

EXTON KNOLL
STAFF ANALYSIS OF COMPLIANCE WITH DECISION AND ORDER
August 14, 2020

Staff has prepared the following analysis of the conditions set forth in the Decision and Order (“D&O”) granting conditional use approval on April 8, 2020 for the Exton Knoll development on the seven (7) parcels at 713 - 921 E. Lincoln Hwy. The conditions of the D&O are shown verbatim in *italics*, Staff’s assessment of compliance immediately follows in plain text, and our conclusion is in **bold**.

1. *The final land development plan approval granted by the Board of Supervisors on February 22, 2017 for a one-story daycare building on the southwest corner of tax parcel No. 41-6-3 is hereby repealed by this Decision and Order and shall have no further force and effect.*

This condition was been included to eliminate potential confusion regarding earlier Board action involving this property.

No action is required by the Applicant.

2. *The final design of the Development including but not limited to the buildings, accessways, trails, and other improvements shall be constructed at the locations, heights, and sizes generally consistent with the Plan most recently revised January 10, 2020 as modified by the drawing presented to the Planning Commission during its meeting of February 4, 2020. However, the Board of Supervisors retains the authority to make minor modifications to the design without the necessity of reopening this conditional use approval during the land development review and approval process, in any manner upon which the Township and the Applicant shall mutually agree.*

The subdivision and land development plan before us tonight is substantially similar to the plan reviewed by the Planning Commission on February 4, 2020.

This condition has been met.

3. *Not more than 324 dwelling units shall be approved for and constructed upon the Property.*

The current plan proposes a total of 319 dwelling units.

This condition has been met.

4. *The building height of each residential structure shall not exceed thirty-five (35) feet.*

There is no indication of building height on the plan set, other than on the “Zoning Data Tabulation” chart on the Sheet 1, which merely states that no building will be taller than forty feet, which is the maximum allowed in this zoning district. To reduce the chance that this restriction will be overlooked, Staff recommends that this condition be made a condition of approval of the final land development plan.

This condition should be carried forward as a condition of final plan approval.

5. *The Board shall consider granting the following waivers from the Township's Stormwater Management Ordinance ("SWMO") and the SLDO during land development approval:*
 - a. *§270-15.T of the SWMO to allow disturbances and grading as shown within Zone 2 and Zone 3 of the riparian buffer area, pursuant to comment #9 of the Spotts, Stevens and McCoy ("SSM") review letter dated January 27, 2020 (Exhibit B-6).*
 - b. *§270-20 of the SWMO such that not all stormwater need be infiltrated, to the satisfaction of SSM, pursuant to comment #1 of Exhibit B-6.*
 - c. *§281-16.B of the SLDO to allow plan sheets larger than 24" by 36".*
 - d. *§281-25.C of the SLDO to allow a minimum cartway width of twenty-four (24) feet.*
 - e. *§281-26.B.(1) of the SLDO to allow streets with a centerline radius of not less than fifty (50) feet, as described in comment #4 of Exhibit B-6.*
 - f. *§281-26.C of the SLDO to allow streets with centerline tangents of less than one hundred (100) feet between reverse curves, as described in comment #5 of Exhibit B-6.*
 - g. *§281-28.E.(2)(a)[2] of the SLDO to allow clear-sight triangles of not less than seventy-five (75) feet, provided that the PennDOT standard for safe stopping distance is met, pursuant to comment #6 of Exhibit B-6.*
 - h. *§281-32.C of the SLDO to allow curbs with a reveal of not less than six (6) inches, as advised by the Director of Public Works.*
 - i. *§281-35.F.(4) of the SLDO to allow stormwater basins with side slopes as steep as 3:1 to be landscaped as naturalistic basins.*

These waivers - along with a few others - are noted in the current reviews from SSM and Theurkauf; neither SSM nor Theurkauf have any objection to their being granted.

No action is required by the Applicant.

6. *Prior to submission of the land development plan, the Applicant shall meet with representatives of Church Farm School ("CFS") and come to agreement regarding the details of the required landscaped perimeter buffer to resolve CFS concerns about security and aesthetics, to the satisfaction of the Township.*

We have received information that this meeting has occurred and that CFS is agreeable to the landscaping as shown.

This condition has been met; however, additional coordination regarding the landscaped buffer should be on-going moving forward. This condition should be carried forward as a condition of final plan approval.

7. *Prior to submission of the land development plan, the Applicant shall meet with Traffic Planning and Design (“TPD”) and the Township to review the following items from TPD’s conditional use review letter dated January 27, 2020 (Exhibit B-7) for their impact upon the overall design:*

a. *The design of the proposed traffic circle shall be evaluated in consideration of the potential future widening of Lincoln Highway as delineated by the ultimate right-of-way line shown on the Plan. The circle shall be confirmed as a traffic circle or mini-roundabout with appropriate design consideration for vehicle parking, truck movements, and pedestrian crossings.*

b. *Discussion of design approach for the roads within the site, based upon the issues noted in comments #11, #16, and #17 of Exhibit B-7. The Township shall confirm the acceptability of speed limits and traffic calming measures.*

c. *The design of the sidewalks and drainage facilities along the Lincoln Highway frontage shall be defined to the satisfaction of the Township and shall demonstrate proper consideration for pedestrian and motorist safety as well as efficient storm drainage.*

Comment #13 of the current TPD review directs a minor design revision that will resolve item “a.” The Commission has previously advised that they are satisfied that items “b” and “c” are resolved.

The design revision described in comment #13 of the current TPD review should be carried forward as a condition of plan approval; the remaining issues are met to our satisfaction.

8. *The land development plan shall clearly show which recreational trails will accommodate both bicycles and pedestrians, and which will be restricted to pedestrian use.*

Sheet 8 of the plan set clearly identifies different trail types and widths using color.

This condition has been met.

9. *A pedestrian connection shall be provided to the existing bus stop near the southeastern corner of the Property.*

The bus stop in question has been relocated to be closer to the main entrance; the required connection appears on Sheets 4, 8, and several others.

This condition has been met.

10. *Payment of a traffic impact fee, pursuant to Township Ordinance No. 427.*

Developers pay this fee when they apply for the first building permit for a project; no building permit is issued until the fee is paid in full. During the conditional use review, TPD advised that the required fee would be \$154,895.55; however, the current plan shows five fewer dwelling units than that plan, which may affect the final

fee calculation. Staff advises that the final fee be determined when the plan advances to the Board of Supervisors.

This condition should be carried forward as a condition of final plan approval.

11. *The Applicant shall execute to the satisfaction of the Township the “reasonable steps” identified in the Comfort Letter from the U.S. Environmental Protection Agency Region III addressed to Thomas Bentley regarding the AIW Frank/Mid-County Mustang Superfund Site dated February 7, 2020 (Exhibit B-13).*

The Comfort Letter specifies five “reasonable steps.” The first three involve the design of the development and its effect upon groundwater: there shall be no disturbance of any monitoring facilities, nor shall there be any new wells or consumption of groundwater from this site. The design as proposed complies with these items to the satisfaction of Staff. The fourth requires that the dwellings all be provided with a vapor mitigation system; the proposed system is depicted on Sheet 8. The final item requires that the applicant record an environmental covenant to notify “any persons acquiring an interest in the Property” of the groundwater contamination and the “reasonable step” implemented to mitigate the effects of the contamination.

Staff notes that the “Property” as defined by EPA is limited to the western part of this tract, labeled “Lot 1” on Sheet 3; as shown on Sheet 21, the contamination plume and associated area of concern occupies only a portion of Lot 1 and does not extend at all into Lot 2. The Applicant should make clear if “acquiring an interest” in the property includes renters of units on the affected portion of Lot 1.

That being said, Staff is of the opinion that the Applicant has satisfied this condition to the extent possible at this time; we advise that the fourth and fifth steps be carried forward as conditions of final plan approval.

This condition is partially met; implementation of the fourth and fifth “reasonable steps” of the Comfort Letter is premature at this time and should be carried forward as conditions of final plan approval.

12. *Resolution of all remaining consultant concerns to the satisfaction of the Township, specifically including but not limited to those described in comments #15 through #18 of Exhibit B-6.*

While the most current reviews from SSM, Stubbe, Theurkauf, TPD, and the Director of Public works all express remaining concerns, Staff is of the opinion that they are sufficiently minor to be made conditions of final plan approval.

This condition should be carried forward as a condition of final plan approval.

13. *During the land development plan review process, the Applicant shall present for review and approval by the Township and the Township Solicitor a Declaration of Restrictive Covenants and Easements establishing a homeowners association for the portion of the Property to be re-subdivided for and used as the “for sale” townhouses parcel, and a separate Declaration of Restrictive Covenants and Easements for the portion of the property to be re-subdivided for and used as the rental townhouses and flats parcel. The*

two Declarations shall address at a minimum, cross easements for trails and trail connections, accessways, stormwater management facilities, utilities, and any other shared facilities, as well as ongoing environmental covenants and restrictions applicable to the Property.

The Applicant has provided the required document, which will be reviewed by the Township Solicitor prior to action by the Board of Supervisors.

This condition should be carried forward as a condition of final plan approval.

14. *The Applicant shall execute and provide to the Township a recordable, notarized copy of a memorandum containing a metes and bounds description of the Property in question and stipulating the terms and conditions of this approval and shall consent to the recording by the Township in the office of the Recorder of Deeds of Chester County no later than at the time of recording of final subdivision and land development plans.*

The required memorandum is typically provided after the land development plan is approved; the memo and the plan are recorded simultaneously.

This condition should be carried forward as a condition of final plan approval.

15. *Within 30 days of the date of this Decision and Order, Applicant shall pay in full all fees charged and properly invoiced by Township consultants for review of the conditional use Application and plans and preparation of this Decision and Order.*

The Finance Department advises that there are outstanding invoices relative to the conditional use review for this project.

This condition has not been met.

16. *The Applicant shall express to the Board in writing delivered to the Township Administrative offices within 10 days of the Applicant's receipt of this Decision its full and complete consent to the conditions specified herein above or the Application for conditional use approval is denied; the Board expressly finding and concluding that the Application, in the absence of compliance with the said conditions, is inconsistent with the standards, criteria, purposes, and policies codified in Code §325-124.C.*

We received the required written consent in correspondence dated June 10, 2020 from the Applicant's attorney, Mr. Ross A. Unruh, Esq. of Unruh, Turner, Burke and Frees.

This condition has been met.

This concludes the conditions attached to the D&O.

SUMMARY and CONCLUSION

In the opinion of Staff, of the sixteen conditions attached to the D&O:

- **Seven have been either met to our satisfaction or require no action by the Applicant,**

- Eight should be carried forward as conditions of final plan approval, and
- One has not been met.



MEMORANDUM

DATE: August 14, 2020
TO: Planning Commission
FROM: John R. Weller, AICP
Director of Planning and Zoning
SUBJECT: **Columbia Cottage at Boot Road**
Zoning Ordinance amendment application

APPLICANT: Horst Senior Care
c/o SCG Realty Group, Inc.
PO Box 176
Malvern, PA 19355

DESCRIPTION: Request to amend the West Whiteland Township Zoning Ordinance (“Zoning”) to allow the provisions of the IN Institutional overlay zoning district to be applied to the NC Neighborhood Commercial district.

Background

At the Planning Commission meeting of July 14, 2020, the Applicant presented a sketch plan for the properties at 930-936 E. Boot Rd. in the NC Neighborhood Commercial zoning district. The plan proposed reconfiguring the lots to provide a 1.68-acre lot for an existing multi-tenant commercial building and a 6.04-acre lot to be developed with a senior care facility. It was noted that care facilities are permitted in the Township pursuant to the IN Institutional overlay district, which can be applied to six different non-residential and mixed-use zoning districts in the Township, but not to the NC district. For this reason, the Applicant sought Commission support for an amendment to the Zoning to allow the IN overlay to be applied to the NC district.

Discussion on the sketch plan addressed both the general issue of the Zoning amendment and the project as proposed. The Commission generally agreed that the proposed use was appropriate for the Boot Rd. site, noting that it would generate less traffic than most of the currently permitted commercial uses and that it would be more compatible with the adjacent residential uses.

There were two principal concerns. The first was specific to this project, noting that care facilities must be adequately staffed in order to avoid creating an undue burden on emergency service providers and the local ambulance service in particular. The second concern was more general, questioning what the impact of the requested amendment would be upon other NC areas.

Planning Director John Weller noted that the stated purpose of the NC district is to provide space for smaller, neighborhood-oriented commercial uses that would provide for residents’ day-to-day needs in convenient locations. He stated that there are four small areas zoned NC: their total area is about 60 acres, which is less than 1% of the Township. Despite the

small area, there are a number of vacant and underdeveloped lots in the district, including the larger of the two lots shown on the Applicant's sketch.

While the Commission was generally favorable to the Zoning amendment, they asked Staff to provide some information that would help them to assess conditions in the NC-zoned areas and to determine the risk of institutional development forcing out needed neighborhood commercial operations.

Staff Comment

The IN overlay district is structured such that its area and bulk regulations supersede those of the underlying district for the institutional uses permitted by the overlay. Not all lots in a given district will qualify for institutional use. The IN regulations specify certain eligibility requirements, the most significant being a minimum lot size of four acres and access to public water supply and sanitary sewage.

In response to the Commission's request on July 14, Staff has prepared the attached information describing the four NC-zoned areas. The chart identifies the current owners and uses of all NC-zoned property along with their acreage so you can consider which lots may be combined to meet the minimum size requirement for an institutional use. The accompanying maps show the locations of the listed properties.

Staff is of the opinion that the uses permitted by the IN overlay are similar in character to those allowed by the NC district. While the IN overlay allows for some potentially large-scale uses (like hospitals), such uses would be more likely to seek out larger tracts with better access to major roads. We therefore support the requested amendment.

Staff has already stated that granting the Applicant's request requires only minor text revisions: one to the NC district regulations to note that the IN overlay may be applied and another to the IN overlay regulations to include the NC district in the list of eligible districts. Staff has prepared the attached draft of an adopting ordinance for your consideration and discussion with the Applicant.

Recommended Motion

Should the Commission determine that the requested amendment is appropriate and in the best interest of the Township, Staff suggests action on the following motion to allow the proposed amendment to proceed to a hearing before the Board of Supervisors, as specified by §325-125 of the Zoning.

To recommend that the Board of Supervisors amend the West Whiteland Township Zoning Ordinance to allow uses permitted pursuant to the IN Institutional overlay district in the NC Neighborhood Commercial zoning district, in addition to those districts where the IN overlay is currently applicable. The Commission supports the adoption of the amending ordinance to this effect dated July 24, 2020, subject to satisfactory review by the Township Solicitor and the Chester County Planning Commission.

Attachments

1. Chart of properties zoned NC.
2. Maps of NC zoning districts.
3. Draft amending ordinance dated July 24, 2020.

PC MMO's - Miscellaneous\2020\200814 - NC amd

NEIGHBORHOOD COMMERCIAL DISTRICT TOTALS

NC District AREA 1: BOOT RD & POTTSTOWN PK				
Parcel ID	AC	Land Use	Owner	ADDITIONAL DESCRIPTION
41-5-142	3.1	Commercial	Three Keys Storage II LLC	Recently approved storage facility
41-5-143	3.5	Commercial: Retail	West Whiteland Boot DST	CVS Pharmacy
41-5-143.1	1.4	Commercial: Auto	William Stratton	Tee-Bird Products
41-5-145	1.2	Residential	Sherry McVickar LLC	Single-Family home on lot
41-5-146.1	4.0	Commercial	William Stratton	RE Green Appliance Service
41-5-153	1.1	Commercial: Gas	Lukoil North American LLC	Lukoil gas station
41-5-264	3.5	Vacant	Tytrevken LLC	Wooded lot with shed east of to Boot Rd.
41-5-265	1.8	Commercial: Office	Tytrevken LLC	Site of historic Greenway Cottage (Class II)
41-5-266	1.3	Commercial: Office	Tytrevken LLC	Single-Family home with office on long narrow lot.
41-5-267	3.0	Commercial: Retail	Banbury Realty Group LP	Banbury Shoppes Shopping Center
TOTAL	23.9	85.4% land is in use 14.6% land is vacant		
NC District AREA 2: BOOT RD @ WEST GOSHEN TWP LINE				
Parcel ID	AC	Land Use	Owner	ADDITIONAL DESCRIPTION
41-6-59	0.2	Residential	Charles Sload	SF home on lot
41-6-60	2.0	Commercial: Retail	J&R Real Estate	Ship Village shopping center
41-6-61	0.5	Residential	Devereux Foundation	Site of historic Everheart House (Class I)
41-6-94	2.4	Commercial: Retail	Helper Brothers LLC	HEPCO Quarries, Inc. (Masonry Supply Store)
41-6-94.1	3.8	Commercial: Retail	Helper Brothers LLC	HEPCO Quarries, Inc. (Masonry Supply Store)
41-6-95.1	2.2	Commercial: Retail	Janiec Associates LP	Retail building on flag lot with wooded area at rear.
41-6-96	5.7	Vacant	Janiec Associates LP	Wooded land south & east of existing retail building.
41-6-97	0.5	Office	Whiteland Enterprises LP	Office building on lot
TOTAL	17.3	67.1% land is in use 32.9% land is vacant		
NC District Area 3: BOOT & BURKE INTERSECTION				
Parcel ID	AC	Land Use	Owner	ADDITIONAL DESCRIPTION
41-5-257.1	1.7	Commercial: Retail	Shops at Boot-Way LLC	The Shoppes at Boot-Way Shopping Center
41-5-258	0.8	Commercial: Office	QHDental Real Estate LLC	Exton Dental located on lot within the SF home
41-5-259	0.4	Residential	DCM Commercial LLC	SF home on lot
41-5-260	2	Commercial: Auto	DCM Commercial LLC	J&W Automotive
41-8-174.1	1.8	Commercial: Auto	David & Paul Niestroy	3D Auto Body & Collision Center
TOTAL	6.7	100% land is in use 0.0% land is vacant		
NC District Area 4: POTTSTOWN PK @ UWCHLAN TWP LINE				
Parcel ID	AC	Land Use	Owner	ADDITIONAL DESCRIPTION
41-2-2.1	0.5	Commercial: Retail	Seven Fins LLC	Vacant Bldg. within NC portion of lot (Total lot: 1.7AC)
41-02-26	0.7	Light Industrial	Diavoli Enterprise LLC	Site of historic Trimble Mill (Class I) (Total of lot: 2.2AC)
41-2-26.1	0.9	Residential	Felix Presto	SF home w/ pool & pond on lot (Total lot: 7.1AC)
41-2-26.2	1.5	Vacant	Felix & Mattie Presto	Vacant with shed fronting Pottstown Pk. (Total lot: 1.8)
41-02-27	1.5	Office	Avellino Investments LLC	Only lot totally within NC in this area
TOTAL	5.1	60.8% land is in use 39.2% land is vacant		

Columbia Cottage Parcels

Parcels with same ownership

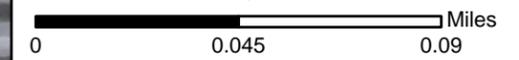
Neighborhood Commercial District Map

AREA 1:
Boot Rd. & Pottstown Pk.

Map Features

NC District Parcels

-  Same Ownership
-  NC District
-  Parcels
-  Local Roads



Prepared by: West Whiteland Township, 2020
Data Source: Chester County DCIS, 2020



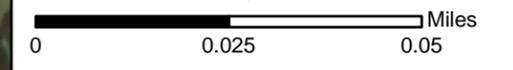
Neighborhood Commercial District Map

AREA 2:
Boot Rd. & West Goshen Twp. Line

Map Features

NC District Parcels

-  Proposed Columbia Cottage
-  Same Ownership
-  Parcels
-  NC District
-  Local Roads



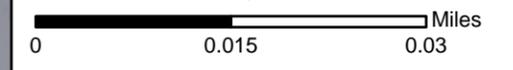
Neighborhood Commercial District Map

AREA 3:
Boot Rd. @ Burke Rd.

Map Features

NC District Parcels

-  Same Ownership
-  NC District
-  Parcels
- Local Roads



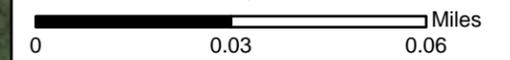
Neighborhood Commercial District Map

AREA 4:
Pottstown Pk. @ Uwchlan Twp. Line

Map Features

NC District Parcels

-  Same Ownership
-  NC District
-  Parcels
-  Local Roads



Prepared by: West Whiteland Township, 2020
Data Source: Chester County DCIS, 2020



**BOARD OF SUPERVISORS
WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PENNSYLVANIA**

ORDINANCE NO. _____

**AN ORDINANCE AMENDING SECTION 325-14 AND SECTION 325-45 of
CHAPTER 325, “ZONING” OF THE WEST WHITELAND TOWNSHIP CODE
OF ORDINANCES TO ALLOW DEVELOPMENT PURSUANT TO THE IN -
INSTITUTIONAL DISTRICT OVERLAY IN THE NC - NEIGHBORHOOD
COMMERCIAL ZONING DISTRICT.**

BE IT HEREBY ENACTED AND ORDAINED by the Board of Supervisors of West Whiteland Township, Chester County, Commonwealth of Pennsylvania as follows:

Section 1. Sub-section B of Section 325-14, “NC Neighborhood Commercial District,” of Chapter 325 “Zoning” of the West Whiteland Township Code of Ordinances is hereby amended by the addition of the following:

- (6) Uses allowed by Article X, Institutional District, subject to compliance with the provisions of that Article.

Section 2. Sub-section A Section 325-45, “IN Institutional District” of Chapter 325 “Zoning,” of the West Whiteland Township Code of Ordinances is hereby by amended to read as follows:

- A. The IN Institutional District strict shall be and is an overlay of the TC Town Center, NC Neighborhood Commercial, O/C Office/Commercial, O/L Office/Laboratory, O/R Office/Residential, I-1 Limited Industrial, and I-2 General Industrial Districts. The regulations in this district shall supplement the regulations otherwise applicable in the aforementioned underlying zoning districts when a use permitted by this subsection herein below is proposed. The purpose of this district is to encourage the preservation and subsequent logical and timely development of land for institutional purposes. The protective standards in this article are intended to minimize any possible adverse effect of an institutional development on nearby premises.

Paragraphs A(1) and A(2) of this sub-section shall be retained and are not affected by this amendment.

Section 3. The provisions of this Ordinance are severable, and if any section, sentence, clause, part, or provision thereof shall be held illegal, invalid, or unconstitutional by any court of competent jurisdiction, such decision of the court shall not affect or impair the remaining sections, sentences, clauses, parts, or provisions of this Ordinance.

Section 4. This Ordinance shall take effect and be in force five (5) days from the date of enactment.

ENACTED AND ORDAINED this _____ day of August, 2020.

**BOARD of SUPERVISORS
WEST WHITELAND TOWNSHIP**

Rajesh Kumbhardare, Chair

Theresa Santalucia, Vice-Chair

Joshua Anderson, Supervisor

ATTEST:

Mimi Gleason, Township Manager